

**PROJECT TITLE: LAKE SYLVAN PL CARRIAGE SUITE**  
**CIVIC ADDRESS: 1132 LAKE SYLVAN PLACE SE**  
**LEGAL DESCRIPTION: LOT 17, BLOCK 3, PLAN 5942JK**

**ISSUED FOR: DEVELOPMENT PERMIT SUBMISSION**

**ARTIST'S RENDERING**



**PROJECT INFORMATION:**

GROSS BUILDING AREA - BACKYARD SUITE	
SUITE AREA -	883 ft <sup>2</sup>
COVERED BALCONY -	41 ft <sup>2</sup>
TOTAL LIVING AREA =	924 ft <sup>2</sup>
GARAGE AREA =	924 ft <sup>2</sup>
TOTAL DEVELOPED AREA =	1,848 ft <sup>2</sup>
SITE COVERAGE	
PRIMARY DWELLING FOOTPRINT -	1,137 ft <sup>2</sup>
GARAGE FOOTPRINT -	924 ft <sup>2</sup>
TOTAL DEVELOPED AREA =	2,061 ft <sup>2</sup>
LOT AREA -	6,240 ft <sup>2</sup>
SITE COVERAGE =	33.0 %

**DRAWING INDEX**

ARCHITECTURAL DRAWING LIST	
A0 - COVER SHEET AND PROJECT INFORMATION	
L1 - SITE PLAN	
A1 - HOUSE RENOVATION PLANS	
A2 - REBUILT GARAGE PLANS	
A3 - CARRIAGE HOUSE LAYOUTS	
A4 - CARRIAGE HOUSE ELEVATIONS	
A5 - CARRIAGE HOUSE SECTIONS AND ASSEMBLES	

**GENERAL NOTES:**

- STUDIO WOLF DESIGNS LTD. ASSUMES NO LIABILITY FOR ANY ERRORS OR OMISSIONS WHICH MAY EFFECT CONSTRUCTION, AND SHALL ALSO NOT BE RESPONSIBLE FOR ANY VARIANCES FROM THE STRUCTURAL DESIGN AND SPECS OR ADJUSTMENTS REQUIRED RESULTING FROM CONDITIONS ENCOUNTERED AT THE BUILDING SITE WHICH ARE THE SOLE RESPONSIBILITY OF THE OWNER AND/OR CONTRACTOR ONCE CONSTRUCTION COMMENCES. ONCE CONSTRUCTION COMMENCES, IT IS ASSUMED THAT THE OWNER AND/OR CONTRACTOR HAVE ACCEPTED THE DRAWINGS AS PRESENTED AS TRUE, CORRECT AND COMPLETE.
- REPRODUCTION OF THESE DRAWINGS BY ANY MEANS WITHOUT THE EXPRESS WRITTEN PERMISSION OF STUDIO WOLF DESIGNS LTD. IS STRICTLY PROHIBITED. ALL RIGHTS RESERVED.
- DO NOT SCALE DRAWINGS.
- ALL CONSTRUCTION MUST CONFORM TO CURRENT ALBERTA BUILDING CODE, NATIONAL ENERGY CODE, AND ALL LOCAL BUILDING AND LANDUSE BY-LAWS.
- THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE ENGINEERED TRUSS AND JOIST PACKAGE PROVIDED BY OTHERS, THE STRUCTURAL ENGINEER'S DRAWINGS, LETTERS AND THE WINDOW AND DOOR PACKAGE AND ANY OTHER DRAWING THAT WILL COMPRISE THE CONSTRUCTION DRAWINGS.
- THE CONTRACTOR AND SUB-TRADES ARE TO CAREFULLY EXAMINE ALL DRAWINGS, NOTES & SPECS AT THE PRICING STAGE, PRIOR TO THE START OF CONSTRUCTION, AND INFORM STUDIO WOLF DESIGNS LTD. OF ANY OMISSIONS OR ERRORS OR DISCREPANCIES IMMEDIATELY.
- ALL ANGLED WALLS ARE 45° UNLESS NOTED OTHERWISE.
- ALL BUILDING DIMENSIONS ARE TO FACE OF STUD OR FACE OF SHEETING.
- THE CCMCF FOR THE 1/2 LB SELECTION 500 FOAM IS #12697R - CANTILEVER APPLICATIONS  
- THE CCMCF FOR THE 2 LB PF7300 SOYA POLARFOAM IS #13244L - RIM JOIST APPLICATIONS
- TOP OF NEW CONCRETE FOUNDATIONS TO BE PLACED MINIMUM 8" ABOVE HIGHEST POINT OF PROPOSED FINISHED GRADE AT PERIMETER OF BUILDING OUTLINE. REPORT ANY DISCREPANCIES WITH GEODETIC ELEVATIONS AND GRADING TO THE DESIGNS PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES.
- FOR PROTECTION AGAINST FROST ACTION, EXTERIOR FOOTINGS IN HEATED STRUCTURES SHALL BE PROVIDED WITH A MINIMUM COVER OF 4'-6" AND 7'-0" FOR UNHEATED STRUCTURES OR ISOLATED FOOTINGS.
- STEPPED FOOTINGS ARE REQUIRED TO SUITE EXISTING GROUND ELEVATIONS AND SOIL CONDITIONS.
- ALL FOOTINGS SHALL BE PLACED ON UNDISTURBED NATIVE SOIL.
- POSTS AND COLUMNS SHALL BE CENTERED ON CONCRETE FOOTINGS, SIZES AS SHOWN ON DRAWINGS.
- IN THE EVENT OF OVER-EXCAVATION, BACKFILL AROUND FOOTINGS WITH PIT-RUN GRAVEL OR APPROVED MATERIAL COMPACTED TO A MINIMUM 98% OF STANDARD PROCTOR DRY DENSITY.
- ENSURE CONTINUITY OF AIR/VAPOR BARRIER THROUGHOUT, INCLUDING AT ALL FLOOR FRAMING, ELECTRICAL OUTLETS, AND ATTIC ACCESS DOORS.
- PROVIDE ATTIC ACCESS AS REQ'D, MIN. 20"x 30" C/W WEATHER STRIPPING, PROVIDE ATTIC INSULATION STOPS AS REQ'D. LOCATION TO BE CONFIRMED ON SITE.
- PROVIDE ROOF VENTILATION AS PER ABC 9.19.1.2 AT TOP AND BOTTOM OF ROOF. TOTAL VENTED AREA TO BE NOT LESS THAN 1/300 OF INSULATED CEILING AREA OR 1/150 WHERE ROOF SLOPE IS LESS THAN 1 IN 6 OR CONSTRUCTED WITH ROOF JOISTS.
- PROVIDE PREFINISHED ALUM. CONTINUOUS RAINDRIVE AS REQ'D.
- PROVIDE A MIN. 1/2" TREAD AND 1" NOSING ON ALL INTERIOR STAIRS.
- HEIGHT FROM DOOR THRESHOLD TO LANDINGS TO BE 6'-10". ALL WINDOW AND DOOR OPENINGS ARE APPROXIMATE ROUGH OPENING SIZES. REFER TO SUPPLIERS DRAWINGS FOR ACTUAL ROUGH OPENINGS AND REPORT ANY DISCREPANCIES IMMEDIATELY TO STUDIO WOLF DESIGNS LTD.
- GAS AND ELECTRICAL METER LOCATIONS TO BE CONFIRMED ON SITE.
- ALL VENT STACKS TO EXIT REAR OF ROOF RIDGE WHENEVER POSSIBLE.
- HVAC CONTRACTOR SHALL PROVIDE DRAWING(S) INDICATING PROPOSED DUCT SIZES AND ROUTING FOR REVIEW AND APPROVAL PRIOR TO COMMENCING WORK.
- FURNACE AND HOT WATER HEATER TO MEET OR EXCEED VALUES PERMITTED BY THE NATIONAL ENERGY CODE.
  - HIGH-EFFICIENCY FURNACE WITH MINIMUM AFUE RATING OF 96%
  - HIGH-EFFICIENCY HOT WATER TANK MINIMUM EF RATING OF 0.67
- ALL MANUFACTURE'S SPECIFICATIONS TO TAKE PRECEDENCE OVER THE TYPICAL DETAILS SHOWN IN THIS DRAWING SET. ALL MATERIALS ARE TO BE INSTALLED IN ACCORDANCE TO THE CURRENT BUILDING CODES, MANUFACTURE'S SPECIFICATIONS AND BEST PRACTICES.

**RADON VENT NOTES: (SEE DETAILS)**

- RADON PIPE TO BE A MIN. 4" PVC PIPE
- RADON VENT TO BE CLEARLY MARKED AS 'RADON' ONCE INSTALLED
- RADON VENT TO TERMINATE AT ROOF, VENTING TO OUTDOORS
- VENT PIPE 'T' TO START BELOW SLAB, OUTSIDE OF AIR BARRIER SYSTEM
- RADON VENT TO BE ACTIVE

**INTERIOR FINISHES LEGEND**

ROOM	FLOOR	N. WALL	S. WALL	W. WALL	E. WALL
FOYER	VP-1	PT-1	PT-1	PT-1	PT-1
HALLWAY	VP-1	-	PT-1	PT-1	PT-1
HALF BATH	VP-1	PT-2	PT-2	PT-2	PT-2
CLOSETS	VP-1	PT-1	PT-1	PT-1	PT-1
MUD ROOM	VP-1	PT-1	PT-1	PT-1	PT-1
PANTRY	VP-1	PT-1	PT-1	PT-1	PT-1
KITCHEN	VP-1	-	PT-1/CT-3	PT-1/CT-3	PT-3
DINING ROOM	VP-1	-	-	PT-1	-
GREAT ROOM	VP-1	PT-4	-	PT-4	PT-4
STAIRS	CP-1	PT-5	-	PT-5	PT-5
GARAGE	PT-9	PT-8	PT-8	PT-8	PT-8
UPPER FLOOR					
ROOM	FLOOR	N. WALL	S. WALL	W. WALL	E. WALL
HALLWAY	CP-1	PT-1	PT-1	PT-1	PT-1
FAMILY ROOM	CP-1	PT-4	PT-4	PT-4	PT-4
MAIN BATHROOM	CT-1	PT-2	PT-2	PT-2/CT-3	PT-2/CT-3
CLOSETS	CP-1	PT-1	PT-1	PT-1	PT-1
BEDROOM#2	CP-1	PT-6	PT-6	PT-6	PT-6
BEDROOM#3	CP-1	PT-6	PT-6	PT-6	PT-6
LAUNDRY	CT-1	PT-1	PT-1/CT-3	PT-1	PT-1/CT-3
ENSUITE	CT-1	PT-7	PT-7/CT-3	PT-7	PT-7
TUB SURROUND	CT-1	PT-7/CT-2	-	PT-7/CT-2	PT-7/CT-2
SHOWER	CT-2	CT-2	GLASS	CT-2	CT-2
WALK-IN CLOSET	CP-1	PT-7	PT-7	-	-
MASTER BEDROOM	CP-1	PT-7	PT-7	PT-7	PT-7
MATERIAL LEGEND					
PAINT		CERAMIC/PORCELAIN TILE			
PT-1	SHERWIN WILLIAMS	CT-1	AMES DENMARK - 12x24		
PT-2	SHERWIN WILLIAMS	CT-2	AMES DENMARK - 24x24		
PT-3	SHERWIN WILLIAMS	CT-3	AMES DENMARK - 2x6		
PT-4	SHERWIN WILLIAMS				
PT-5	SHERWIN WILLIAMS	VINYL PLANK FLOORING			
PT-6	SHERWIN WILLIAMS	VP-1 VINYL PLANK - 10mm			
PT-7	SHERWIN WILLIAMS				
PT-8	SHERWIN WILLIAMS	CARPET FLOORING			
PT-9	EPOXY GARAGE FINISH	CP-1 CARPET			

**FINISHES NOTES:**

WHERE WALLS ARE TO BE PAINTED PROVIDE MINIMUM 2 COATS, COLOR AS SELECTED BY OWNER.

ALL CEILINGS ARE TO BE KNOCK DOWN FINISHED, WHERE CEILINGS HAVE A FLAT FINISH, CEILINGS ARE TO BE PAINTED WITH A MINIMUM 2 COATS, COLOR AS SELECTED BY OWNER.

ALL INTERIOR DOORS TO BE PRE-FINISHED, COLOR AS SELECTED BY OWNER.

ALL MILLWORK TO BE STAINED OR LAMINATE. COLORWOOD GRAINS AS SELECTED BY OWNER.

ALL MILLWORK COUNTERS TO BE SOLID SURFACING MATERIAL AS SELECTED BY OWNER.

WHERE TILE FLOOR FINISH IS SCHEDULED, PROVIDE 4" HIGH MATCHING TILE BASE WITH FINISHED EXPOSED EDGES OR SCHLUTER STRIPS.

WHERE HARDWOOD OR VINYL FLOOR FINISH IS SCHEDULED, PROVIDE WOOD BASEBOARD AND HEAT REGISTERS, PAINTED, PROFILE AND COLOR AS SELECTED BY OWNER.

WHERE VINYL PLANK FLOORING EDGE IS EXPOSED, PROVIDE TAPERED TRANSITION STRIP.

PROVIDE VINYL PLANK TREADS VP-1 W/ INTEGRAL NOSING TO FOYER STAIR, PAINT VERTICAL RISERS PT-7. TBC WITH OWNER.

STAIRS ARE TO BE CARPET UNLESS DIRECTED OTHERWISE BY OWNER

CARPET TO HAVE AN 8 lbs UNDERLAY. PILE LENGTH AND COLOR AS PER OWNER

TILE GROUT TO BE SEALED. COLOR AS SELECTED BY OWNER. PROVIDE SAMPLES FROM STANDARD COLOR RANGE.

PROVIDE SAMPLES OF ALL FINISH MATERIALS INCLUDING TILES, TO BE REVIEWED BY OWNER.

**ABBREVIATIONS**

LN	LINEN CLOSET	EXP	EXPANSION JOINT	2R 2S	2 RODS 2 SHELVES
FP	FIREPLACE	JNT	IRRIGATION SUPPLY	CIP	CAST IN PLACE
BS	BOOK SHELVES	IRR	HOSE BIB	B/F	BATHROOM FAN
P	PANTRY	HB	RETURN AIR	D/C	DISCHARGE
F	REFRIGERATOR	R/A	FRESH AIR	G	GAS METER
W/O	WALL OVEN	F/A	POT FILLER	WC	WATER CLOSET
TWL	TOWEL SHELVES	PF	TOP OF	FD	FLOOR DRAIN
W	WASHER	T/O	FOUNDATION	EAC	ELECTRONIC AIR
D	DRYER	FDTN	ELECTRIC METER	DV	DIRECT VENTING
1R 1S	1 ROD 1 SHELF	EL			

**STRUCTURAL GENERAL CONDITIONS**

**STRUCTURAL ENGINEER'S NOTES TO BE FOLLOWED BY CONTRACTOR:**

- ALL CONCRETE TO BE 30MPa (EXCEPT 32MPa CONCRETE FOR GARAGE UNLESS DETERMINED OTHERWISE BY A SOILS TEST)
- ALL CONCRETE FOR FOOTINGS TO BE 50MPa SULFATE RESISTANT UNLESS DETERMINED OTHERWISE BY A SOILS TEST
- FOLLOW CSA-A23.1 CONCRETE MATERIALS AND METHODS OF CONCRETE CONSTRUCTION
- FOLLOW CSA-A23.2 METHODS OF TEST AND STANDARD PRACTICES FOR CONCRETE
- FOLLOW CSA-A23.3 DESIGN OF CONCRETE STRUCTURES
- IT IS ASSUMED THAT THE CONTRACTOR WILL ACHIEVE COMPACTION UNDER SLAB OF AT LEAST 120KPa AND SHALL BE TESTED ON SITE
- IT IS ASSUMED THAT THE CONTRACTOR WILL ACHIEVE COMPACTION UNDER FOOTING OF AT LEAST 180KPa AND SHALL BE TESTED ON SITE
- CONSTRUCTION SHALL FOLLOW THE LATEST ALBERTA BUILDING CODE
- CONSTRUCTION SHALL FOLLOW THE LATEST NATIONAL BUILDING CODE OF CANADA

**GENERAL NOTES:**

- DESIGN LOADS UNO. THE MORE RESTRICTIVE PROVISION SHALL GOVERN:

ROOF LIVE LOAD = 1.00 KPA  
 ROOF DEAD LOAD = 0.80 KPA  
 FLOOR LIVE LOAD = 1.90 KPA  
 FLOOR DEAD LOAD = 1.00 KPA  
 WIND DESIGN LOADS: Q50 = 0.50 KPA

- DEFLECTION CRITERIA: DESIGN ALL FLOOR MEMBERS FOR LIVE LOAD DEFLECTION OF SPAN/480 AND ROOF MEMBERS FOR A LIVE LOAD DEFLECTION OF SPAN/360 TO A MAXIMUM OF 20 MM UNLESS NOTED OTHERWISE, THE MORE RESTRICTIVE PROVISION SHALL GOVERN. SEE ENGINEER'S NOTES, DRAWINGS AND LETTERS.
- CONSTRUCTION SAFETY THE CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION SAFETY AS REQUIRED BY THE OCCUPATION HEALTH AND SAFETY ACT OF THE PROVINCE OF ALBERTA.
- TEMPORARY ERECTION STABILITY THIS STRUCTURE AND ITS MEMBERS ARE UNSTABLE UNTIL THE BUILDING HAS BEEN COMPLETED. THE FRAMING CONTRACTOR SHALL BRACE ALL WALLS, ETC. AGAINST WIND AND CONSTRUCTION LOADS UNTIL LATERAL SUPPORT IS PROVIDED BY THE COMPLETE BUILDING.
- SHOP DRAWINGS THE CONTRACTOR SHALL ALLOW A MINIMUM OF SEVEN (7) CALENDAR DAYS (FROM THE TIME OF RECEIPT IN THE CONSULTANTS OFFICE) FOR REVIEW OF SHOP DRAWINGS. ALL SHOP DRAWINGS SHALL BE REVIEWED BY THE GENERAL CONTRACTOR PRIOR TO SUBMISSION TO THE CONSULTANTS. PROPOSED CHANGES TO THE DESIGN SHALL BE SUBMITTED IN WRITING TO THE CONSULTANT PRIOR TO THE SUBMISSION OF THE SHOP DRAWINGS. SHOP DRAWINGS REQUIRING THE SEAL OF A PROFESSIONAL ENGINEER SHALL BE REJECTED WITHOUT REVIEW IF THEY ARE NOT SEALED.
- INSPECTIONS ALL STRUCTURAL-RELATED INSPECTIONS ARE TO BE PERFORMED BY A PROFESSIONAL ENGINEER REGISTERED IN THE PROVINCE OF ALBERTA.

**SOILS & SITE CONDITIONS**

- FOOTINGS ARE TO BEAR ON SOIL CAPABLE OF SUSTAINING 100 KPA.

**CONCRETE**

- ALL CONCRETE SHALL HAVE A 28-DAY COMPRESSIVE STRENGTH OF 25 MPA. MAXIMUM AGGREGATE SIZE: 20 MM. MAXIMUM SLUMP: 50 MM. ALL CONCRETE IN CONTACT WITH THE SOIL SHALL USE TYPE HS (TYPE 50) CEMENT UNLESS TESTING PERMITS OTHERWISE.
- ALL CONCRETE WORK TO BE DONE IN ACCORDANCE WITH CAN/CSA A23.1, A23.2, A23.3 AND TO GOOD INDUSTRY PRACTICE
- DO NOT POUR CONCRETE AGAINST FROZEN SOIL. PROTECT SOIL FROM FREEZING.
- REINFORCING STEEL SHALL CONFORM TO CSA G30.18 M-92. REINFORCING STRENGTH SHALL BE 400 MPA.
- CONCRETE COVER REQUIRED FOR REINFORCEMENT:
 

CONCRETE POURED AGAINST EARTH:	75 MM
FORMED SURFACES IN CONTACT WITH SOIL AFTER FORM REMOVAL:	50 MM
OUTSIDE FACES OF WALLS:	40 MM
- REPORT ANY ABNORMAL SOIL CONDITIONS TO THE DESIGNER OR STRUCTURAL ENGINEER IMMEDIATELY.
- PROVIDE 2 LAYERS OF 6 MIL POLYETHYLENE OR FOAM GASKET UNDER SILL PLATE ON ALL CONCRETE SURFACES WHERE WOOD MEMBER IS TO BEAR ON TOP.
- ALL FOOTINGS SHALL BE PLACED ON UNDISTURBED NATIVE SOIL.
- FOR PROTECTION AGAINST FROST ACTION, EXTERIOR FOOTING IN HEATED STRUCTURES SHALL BE PROVIDED WITH A MINIMUM COVER OF 5'-0" AND 7'-0" FOR UNHEATED STRUCTURES OR ISOLATED FOOTINGS. ALTERNATELY, PROVIDE 1" RIGID INSULATION PER REQUIRED FOOT OF FROST PROTECTION AND MINIMUM 18" SOIL COVER.

- FOR PROTECTION AGAINST FROST ACTION, EXTERIOR FOOTING IN HEATED STRUCTURES SHALL BE PROVIDED WITH A MINIMUM COVER OF 5'-0" AND 7'-0" FOR UNHEATED STRUCTURES OR ISOLATED FOOTINGS. ALTERNATELY, PROVIDE 1" RIGID INSULATION PER REQUIRED FOOT OF FROST PROTECTION AND MINIMUM 18" SOIL COVER.
- STEPPED FOOTINGS ARE REQUIRED TO SUIT EXISTING GROUND ELEVATIONS AND SOIL CONDITIONS.
- POSTS AND COLUMNS SHALL BE CENTERED ON CONCRETE FOOTING. SIZES AS PER ENGINEER'S NOTES, DRAWINGS AND LETTERS.

**STEEL**

- STRUCTURAL STEEL SHALL CONFORM TO CAN/CSA G40.21-04. WIDE FLANGE SHAPES AND HSS SHALL BE GRADE 350W OTHER ROLLED SHAPES AND PLATES SHALL BE GRADE 300W. FABRICATOR TO BE A CSA APPROVED SHOP.

**WOOD**

- WOOD CONSTRUCTION SHALL BE COMPLETE AND IN ACCORDANCE WITH SECTION 9.23 OF THE CURRENT PROVINCIAL BUILDING CODE UNLESS NOTED OTHERWISE ON THE DRAWINGS.

**MATERIALS**

- DIMENSION LUMBER: TO CAN/CSA-0141 AND TO NLGA STANDARD GRADING RULES FOR CANADIAN LUMBER; SPRUCE-PINE-FIR, NO. 2 GRADE OR BETTER.
  - PRESSURE TREATED LUMBER: SPRUCE-PINE-FIR, NO. 2 GRADE TREATED IN ACCORDANCE WITH CAN/CSA-080.15 USING ACA OR CCA WATER BORNE PRESERVATIVE TREATMENT.
- UNLESS OTHERWISE NOTED ALL BUILT UP BEAMS AND LINTELS SHALL BE SUPPORTED BY A BUILT UP STUD COLUMN OF THE SAME NUMBER OF LAMINATIONS AS THE SUPPORTED BEAM. MINIMUM OF TWO. ALL SUCH COLUMNS SHALL BE CONTINUOUS TO THE FOUNDATION INCLUDING SOLID BLOCKING AT ALL INTERMEDIATE FLOOR LEVELS.

- OTHERWISE NOTED ALL BUILT UP BEAMS AND LINTELS SHALL BE SUPPORTED BY A BUILT UP STUD COLUMN OF THE SAME NUMBER OF LAMINATIONS AS THE SUPPORTED BEAM. MINIMUM OF TWO. ALL SUCH COLUMNS SHALL BE CONTINUOUS TO THE FOUNDATION INCLUDING SOLID BLOCKING AT ALL INTERMEDIATE FLOOR LEVELS.
- SUB-FLOORING IF REQUIRED SHALL BE GLUED AND NAILED AS SPECIFIED IN SECTION 9.23 OF THE CURRENT BUILDING CODE.
- FLOOR JOISTS SHALL HAVE CROSS BRIDGING AND STRAPPING AS SPECIFIED IN THE SUB-SECTION 9.23.9 OF THE CURRENT BUILDING CODE OR AS RECOMMENDED BY THE JOIST MANUFACTURER.
- FLOOR JOISTS SHALL HAVE CROSS BRIDGING AND STRAPPING AS SPECIFIED IN THE SUB-SECTION 9.23.9 OF THE CURRENT BUILDING CODE OR AS RECOMMENDED BY THE JOIST MANUFACTURER.
- PREFABRICATED WOOD TRUSSES SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER REGISTERED IN THE PROVINCE OF ALBERTA FOR THE LOADS INDICATED ON THE DRAWINGS. ALL TRUSSES SHALL BE DESIGNED TO MEET THE CURRENT BUILDING CODE REQUIREMENTS INCLUDING VIBRATION STIFFNESS. TRUSS CONNECTIONS MUST BE CAPABLE OF RESISTING ALL DESIGN LOADS INCLUDING WIND UPLIFT. THE TRUSS SYSTEM SHOWN ON THE DRAWINGS SHALL NOT BE CHANGED, INCLUDING THE LOCATION OF GIRDER TRUSSES WITHOUT THE WRITTEN PERMISSION OF THE DESIGNER.
- TRUSSES SHALL BE PLANT INSPECTED AND APPROVED BY A PROFESSIONAL ENGINEER REGISTERED IN THE PROVINCE OF ALBERTA.
- ROOF TRUSSES SHALL BE FULLY CROSS-BRACED AND STABILIZED DURING ERECTION IN ACCORDANCE WITH THE FABRICATOR'S RECOMMENDATIONS, SUFFICIENT TO PROVIDE TEMPORARY AND PERMANENT STABILITY TO EACH TRUSS MEMBER AS IT IS ERECTED.

- LVL MEMBERS ARE STRUCTURAL COMPOSITE LUMBER SUCH AS LAMINATED VENEER LUMBER, PARALLEL STRAND LUMBER OR LAMINATED STRAND LUMBER. LVL'S SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES.

2.0 E LVL:	FB = 37.00 MPA
	FV = 3.70 MPA
	E = 13,800 MPA
1.8 E LVL:	FB = 31.50 MPA
	FV = 3.65 MPA
	E = 12,410 MPA
1.5 E LVL:	FB = 26.68 MPA
	FV = 3.65 MPA
	E = 10,340 MPA
1.3 E LVL/LSL RIM BOARD:	FB = 22.0 MPA
	FV = 2.75 MPA
	E = 8,960 MPA



**PROJECT NAME:**  
 SYLVAN LAKE PLACE RENOVATION

**PROJECT ADDRESS:**  
 CIVIC ADDRESS:  
 1132 SYLVAN LAKE PLACE  
 LEGAL ADDRESS:

DESIGNED BY: STUDIO WOLF DESIGNS  
 INTERIOR BY: INTERIOR DESIGNER NAME  
 ENGINEERED BY: ENGINEER'S NAME  
 BUILT BY: CANDLAS CONSTRUCTORS

**DRAWING TITLE:**  
 COVER PAGE AND PROJECT INFORMATION

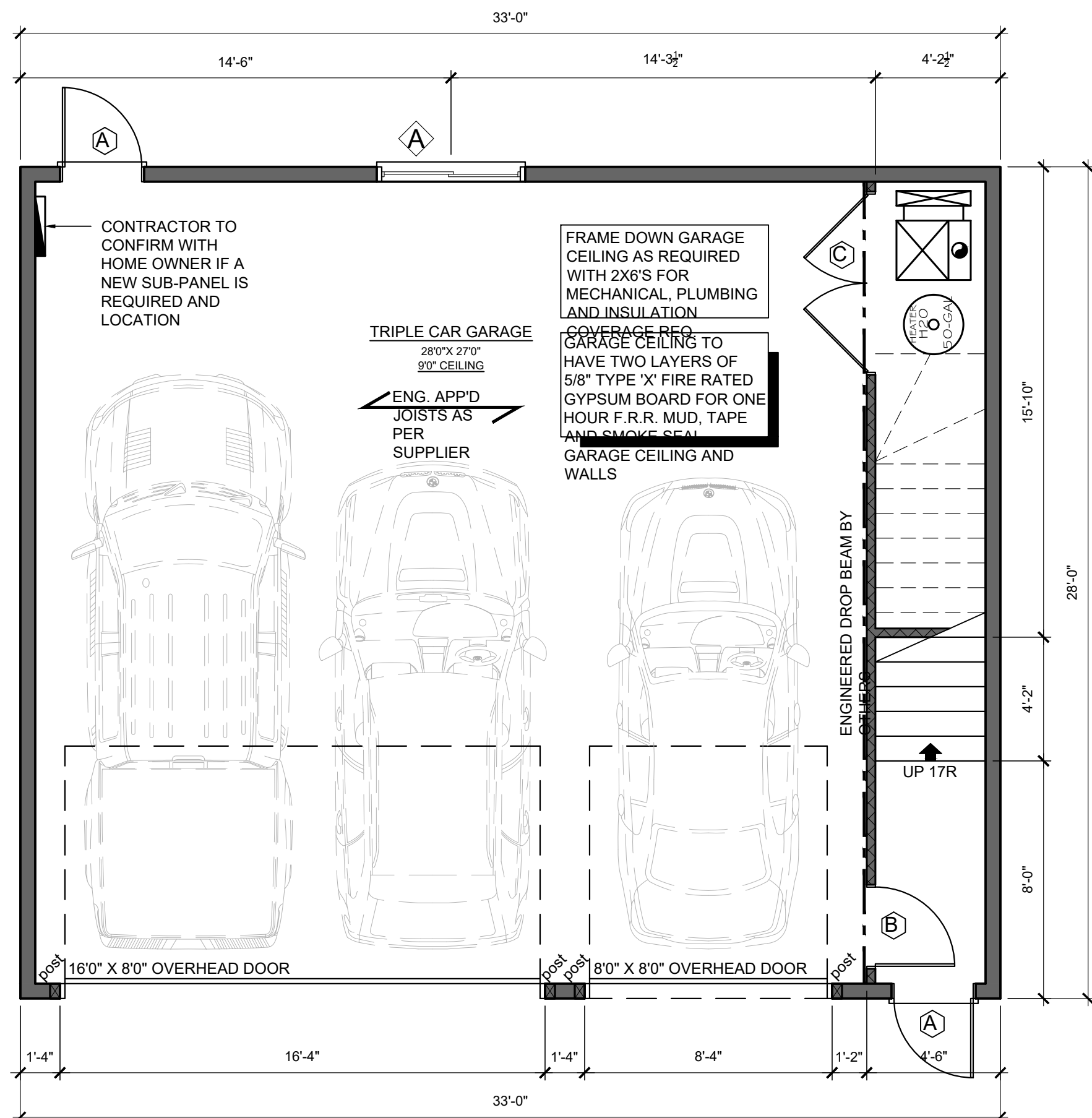
PROJECT REVIEW SIGN-OFF  
 I, \_\_\_\_\_ OF \_\_\_\_\_  
 HAVE REVIEWED THE ARCHITECTURAL DRAWINGS, IN CONJUNCTION WITH THE TRUSS AND JOIST PACKAGES, ENGINEERING DRAWINGS, LETTERS AND NOTES, THE WINDOW AND DOOR PACKAGE, THE INTERIOR DESIGN PACKAGE (IF APPLICABLE), AND ANY OTHER DRAWING OR DOCUMENTS THAT WILL COMPRISE THE CONSTRUCTION DRAWING SET.  
 - THE ARCHITECTURAL DRAWINGS ARE ACCEPTED AS PRESENTED  
 - THE ARCHITECTURAL DRAWINGS ARE ACCEPTED PENDING THE ISSUES NOTED ARE RESOLVED.  
 ACCEPTED ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_.

STUDIO WOLF DESIGNS LTD. ASSUMES NO LIABILITY FOR ANY ERRORS OR OMISSIONS WHICH MAY EFFECT CONSTRUCTION, AND SHALL ALSO NOT BE RESPONSIBLE FOR ANY VARIANCES FROM THE STRUCTURAL DESIGN AND SPECS OR ADJUSTMENTS REQUIRED RESULTING FROM CONDITIONS ENCOUNTERED AT THE BUILDING SITE WHICH ARE THE SOLE RESPONSIBILITY OF THE OWNER AND/OR CONTRACTOR ONCE CONSTRUCTION COMMENCES. ONCE CONSTRUCTION COMMENCES, IT IS ASSUMED THAT THE OWNER AND/OR CONTRACTOR HAVE ACCEPTED THE DRAWINGS AS PRESENTED AS TRUE, CORRECT AND COMPLETE.  
 - ALL DRAWINGS ARE DRAWN IN IMPERIAL SCALE UNLESS NOTED OTHERWISE  
 - DO NOT SCALE DRAWINGS  
 - ALL WORK TO CONFORM TO THE CURRENT BUILDING CODES AND BYLAWS  
 - STUDIO WOLF DESIGNS LIABILITY IS LIMITED TO THE CORRECTION OF THE WORKING DRAWINGS ONLY  
 - THIS DRAWING IS UNBIDABLE BY STUDIO WOLF DESIGNS AND IS COPYRIGHTED INTELLECTUAL PROPERTY THAT SHALL NOT BE DISTRIBUTED, COPIED, MODIFIED, OR REPRODUCED IN ANY MEDIUM WITHOUT THE EXPRESS WRITTEN PERMISSION OF STUDIO WOLF DESIGNS LTD. ALL RIGHTS RESERVED.

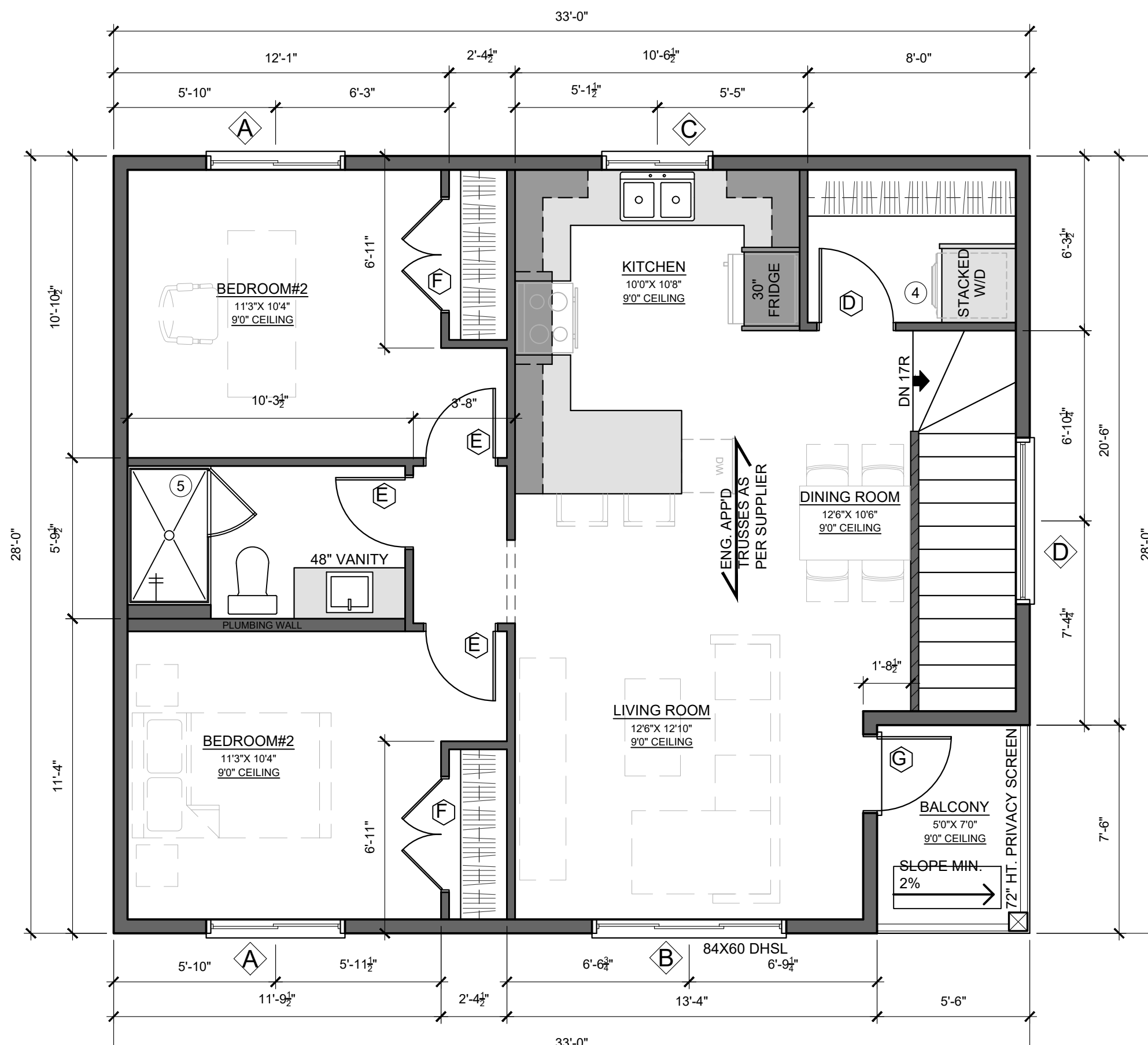
**BUILDER'S INFORMATION:**  
 ANDRE BUSTOS  
 CANDLAS CONSTRUCTORS  
 555 29TH STREET SW  
 CALGARY AB T2M 0M5  
 P: 204-430-1636  
 E: INFO@CANDLAS.COM

NO.	REVISION	DATE
1.	ISSUED FOR CLIENT REVIEW	2025/03/28
2.	ISSUED FOR PERMIT SUBMISSION AND CONSTRUCTION	2025/04/08
3.		
4.		

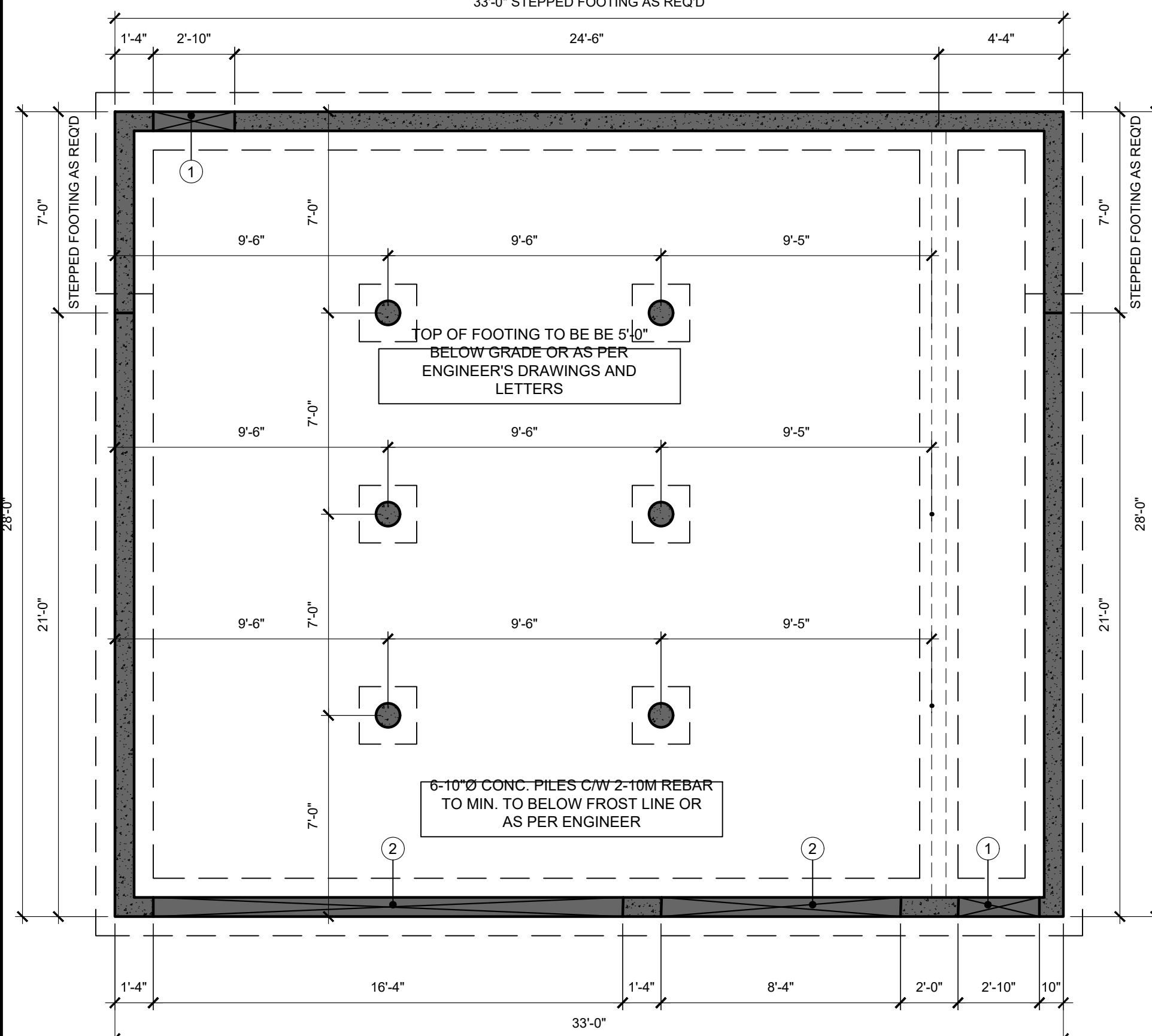
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**SHEET NUMBER:**  
 A0



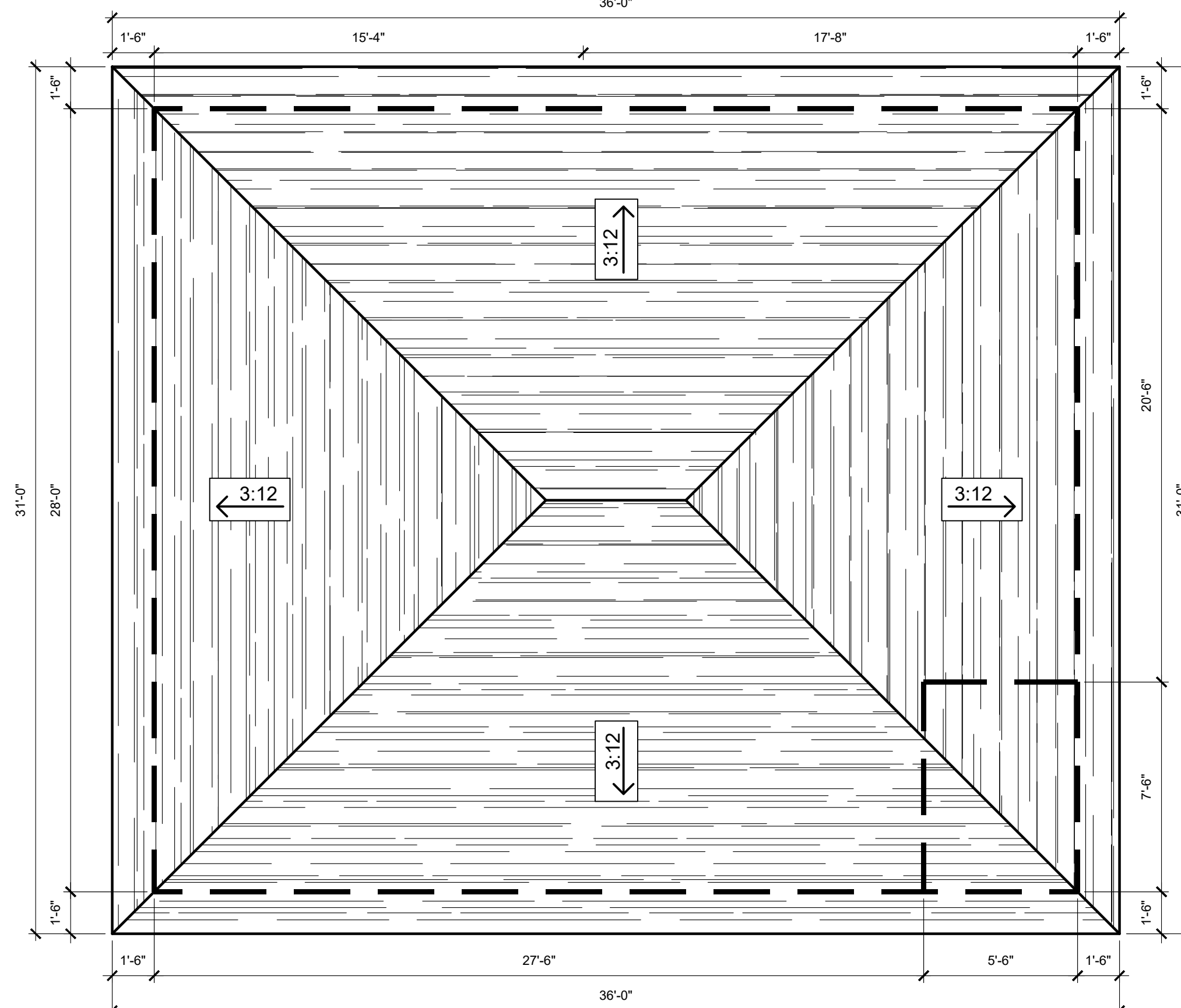
1 TRIPLE CAR GARAGE  
SCALE: 1/4"=1'-0"  
AREA - 900 SF



2 APARTMENT LAYOUT  
SCALE: 1/4"=1'-0"  
AREA - 883 SF



3 FOUNDATION PLAN  
SCALE: 1/4"=1'-0"



4 ROOF PLAN  
SCALE: 1/4"=1'-0"

FOUNDATION NOTES	PLAN KEYNOTES
1. REFER TO STRUCTURAL ENGINEER'S NOTES, DRAWINGS AND/OR LETTERS FOR FOOTING SIZES AND REQUIREMENTS.	1. FRAME TOP OF WINDOWS AT 6'-8" ABOVE SUB-FLOOR UNLESS NOTED OTHERWISE
2. REFER TO STRUCTURAL ENGINEER'S NOTES, DRAWINGS AND/OR LETTERS FOR PAD FOOTING SIZES AND REQUIREMENTS.	2. CUSTOM MILLWORK TO BE COORDINATE WITH FINISHING CARPENTER, GENERAL CONTRACTOR AND HOME OWNER
3. REFER TO STRUCTURAL ENGINEER'S NOTES, DRAWINGS AND/OR LETTERS FOR FOUNDATION WALL SPECIFICATIONS	3. CLOSET MILLWORK TO BE COORDINATE WITH FINISHING CARPENTER, GENERAL CONTRACTOR AND HOME OWNER
4. ALL BEAM POCKETS TO BE 1" WIDER AND DEEPER THAN THE BEAM TO BE INSTALLED. SEE SUPPLIERS AND ENG'D DRAWINGS.	4. PROVIDE FLOOR DRAIN IN LAUNDRY ROOM (LOCATE DRAIN UNDER WASHING MACHINE)
5. TYPICAL PEDESTRIAN DOOR CUT; REFER TO ELEVATIONS AND PLANS FOR SILL/HEAD ELEVATIONS AND DOOR SIZE.	5. 36x60 TILE AND GLASS SHOWER
6. TYPICAL OVERHEAD DOOR CUT; REFER TO ELEVATIONS AND PLANS FOR SILL/HEAD ELEVATIONS AND DOOR SIZE.	

INTERIOR DOOR SCHEDULE				INTERIOR DOOR NOTES	
No.	SIZE	TYPE	REMARKS	QTY	
A	3'0" x 6'8"	PASS	6 PANEL METAL	1	1. ALL INTERIOR AND EXTERIOR DOOR FRAME SIZES ARE TBC BY THE SUPPLIER, CONTRACTOR AND HOME OWNER 2. ALL DOOR SIZES INDICATE SLAB SIZE (FRAME ADDITIONAL) 3. ALL HINGES TO BE HEAVY DUTY BALL BEARINGS TYPE. HARDWARE IS TO BE VERIFIED WITH HOME OWNER 4. DOOR STYLE, GLAZING AND FINISH TO BE CONFIRMED WITH INTERIOR DESIGN PACKAGE OR HOME OWNER. 5. ALL POCKET DOORS TO HAVE UPGRADED HARDWARE
B	2'8" x 6'8"	PASS	6 PANEL METAL	2	
C	6'0" x 8'0"	SWING	FIRE RATED	1	
D	2'8" x 6'8"	PASS	SOLID CORE	1	
E	2'6" x 6'8"	PASS	SOLID CORE	3	
F	4'0" x 6'8"	SWING	HOLLOW CORE	2	
G	2'8" x 6'8"	PASS	THREE QUARTER FRENCH	1	

DRAWING LEGEND:	
	INTERIOR STUD WALL - HALF HEIGHT (REFER TO FRAMING LAYOUTS)
	TYPICAL CONCRETE FOUNDATION (REFER TO STRUCTURAL)
	TYPICAL EXTERIOR OR INTERIOR WOOD FRAMED WALL (REFER TO STRUCTURAL)
	INTERIOR BEARING STUD OR TALL WALL (REFER TO STRUCTURAL)
	BUILT OUT AND CLAD DECK BEAM (STRUCTURAL OR ARCHITECTURAL) OR SLOPED CEILING
	POSSIBLE GAS/HOSE BIB LOCATION
	APPROXIMATE LOCATION OF FLOOR DRAIN TO SUITE
	MECHANICAL FLUE OR VENT STACK, APPROXIMATE LOCATIONS SHOWN
	ROOF SLOPE
	INSULATED FLOOR ABOVE

ROOF VENTILATION NOTES	ROOF DRAWING LEGEND:
1. CONTRACTOR TO PROVIDE AND VERIFY THAT ADEQUATE ROOF PENETRATION IS PROVIDED TO SUITE MIN. 1/8" RULE AS OUTLINED IN THE NATIONAL BUILDING CODE ALBERTA EDITION.	
2. CONTINUOUS RIDGE VENTS ARE PREFERRED WHERE POSSIBLE. PASSIVE VENTS ON SLOPED ROOFS ARE TO BE A MIN. OF 40 SQ. INCHES EACH AND MOUNTED AS HIGH AS POSSIBLE.	
3. ALL SOFFITS WHERE POSSIBLE ARE TO BE VENTILATED. CW INSULATION STOPS AT TRUSS HEELS TO SUITE BUILDING CODE AND LOCAL BY-LAWS. ALL VENTILATION MUST HAVE INSECT PROTECTION.	
4. PROVIDE WIDE ICE AND WATER SHIELD EAVE AND VALLEY PROTECTION FROM EAVE TO 36" BEYOND WALL LINE. ATTIC SPACE TO BE VENTED AS PER LOCAL BUILDING CODES OR BEST PRACTICES.	5. FINAL EAVES TROUGH, DOWNSPOUT LOCATIONS, RUN OUT KICKS AND SCUPPER LOCATIONS TO BE DETERMINED BY CONTRACTOR

**FRAMING NOTES:**

THE ARCHITECTURAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE TRUSS AND JOIST PACKAGES, ENGINEERING DRAWINGS AND NOTES, AND THE INTERIOR DESIGN PACKAGE

TALL WALL CONSTRUCTION TO CONFORM TO ENGINEER'S LETTERS AND DETAILS

ALLOW FOR 2 LAYERS OF 5/8" FIREGUARD ON ALL FIREWALLS BEFORE ERECTING PERPENDICULAR INTERIOR PARTITION WALLS



**PROJECT NAME:**  
SYLVAN LAKE PLACE RENOVATION

**PROJECT ADDRESS:**  
CIVIC ADDRESS:  
1132 SYLVAN LAKE PLACE  
LEGAL ADDRESS:

DESIGNED BY: STUDIO WOLF DESIGNS  
INTERIOR BY: INTERIOR DESIGNER NAME  
ENGINEERED BY: ENGINEER'S NAME  
BUILT BY: CANDLAS CONSTRUCTORS

**DRAWING TITLE:**  
PROPOSED CARRIAGE HOUSE LAYOUTS

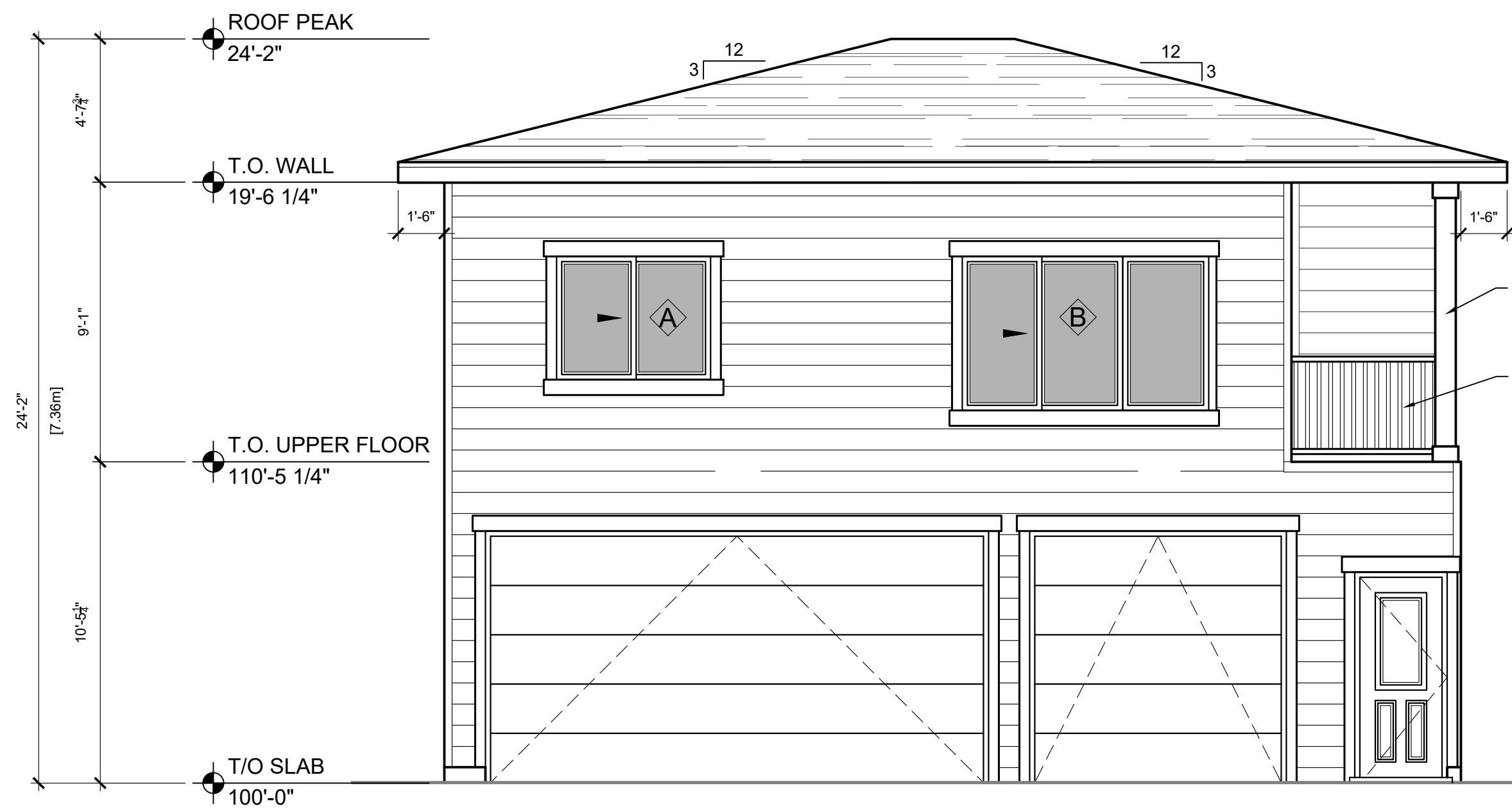
PROJECT REVIEW SIGN-OFF  
I, \_\_\_\_\_ OF \_\_\_\_\_  
HAVE REVIEWED THE ARCHITECTURAL DRAWINGS, IN CONJUNCTION WITH THE TRUSS AND JOIST PACKAGES, ENGINEERING DRAWINGS, LETTERS AND NOTES, THE WINDOW AND DOOR PACKAGES, THE INTERIOR DESIGN PACKAGE (IF APPLICABLE), AND ANY OTHER DRAWING OR DOCUMENTS THAT WILL COMPOSE THE CONSTRUCTION DRAWING SET. THE ARCHITECTURAL DRAWINGS ARE ACCEPTED AS PRESENTED. THE ARCHITECTURAL DRAWINGS ARE ACCEPTED PENDING THE ISSUES NOTED ARE RESOLVED.  
ACCEPTED ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_

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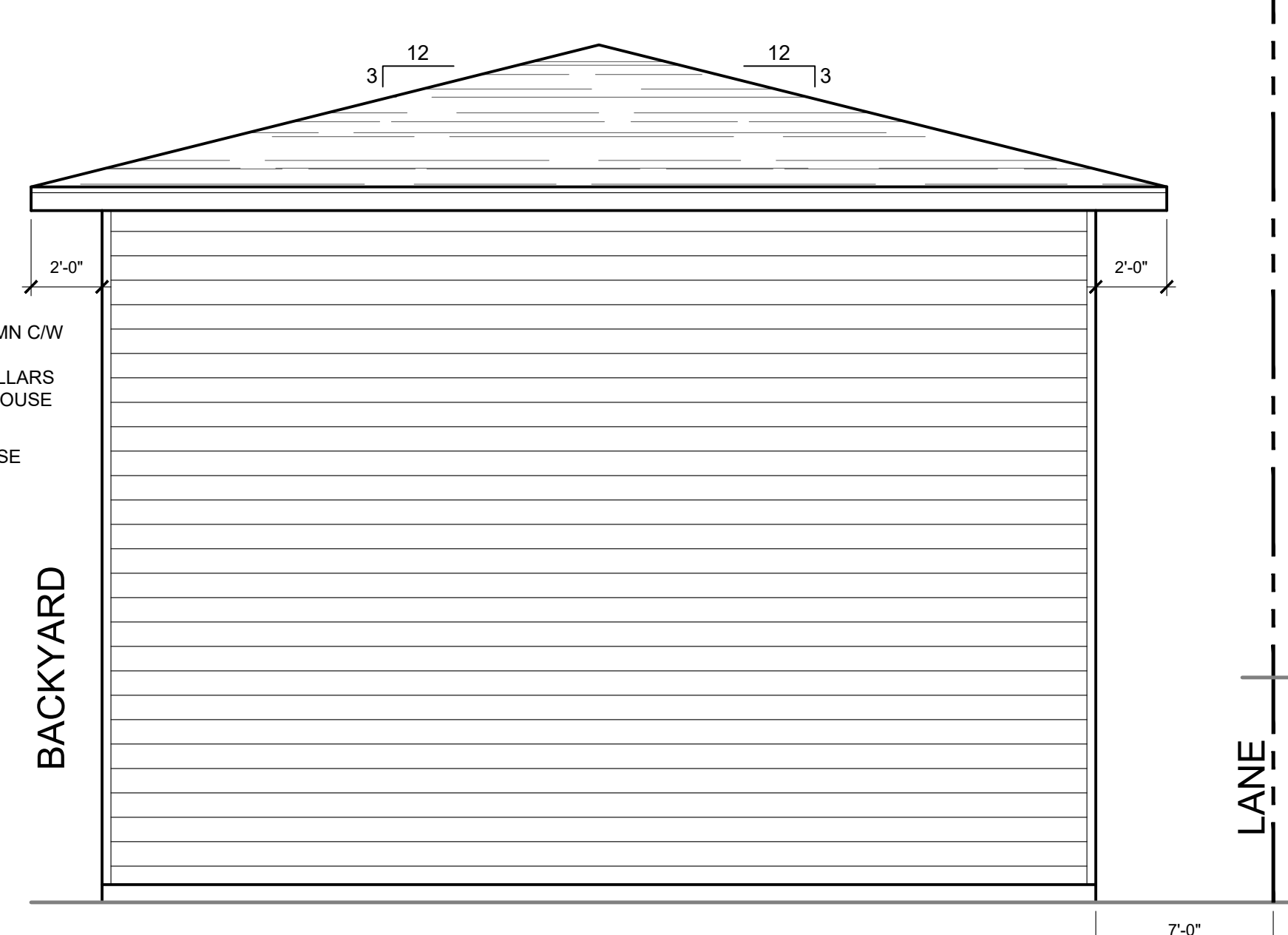
**BUILDER'S INFORMATION:**  
ANDRE BUSTOS  
CANDLAS CONSTRUCTORS  
555 29TH STREET SW  
CALGARY AB T2M 0M5  
P: 204-430-1636  
E: INFO@CANDLAS.COM

NO.	REVISION	DATE
1.	ISSUED FOR CLIENT REVIEW	2025/03/28
2.	ISSUED FOR PERMIT SUBMISSION AND CONSTRUCTION	2025/04/08
3.	ISSUED FOR DETAILED REVIEW RESPONSE	2025/08/22

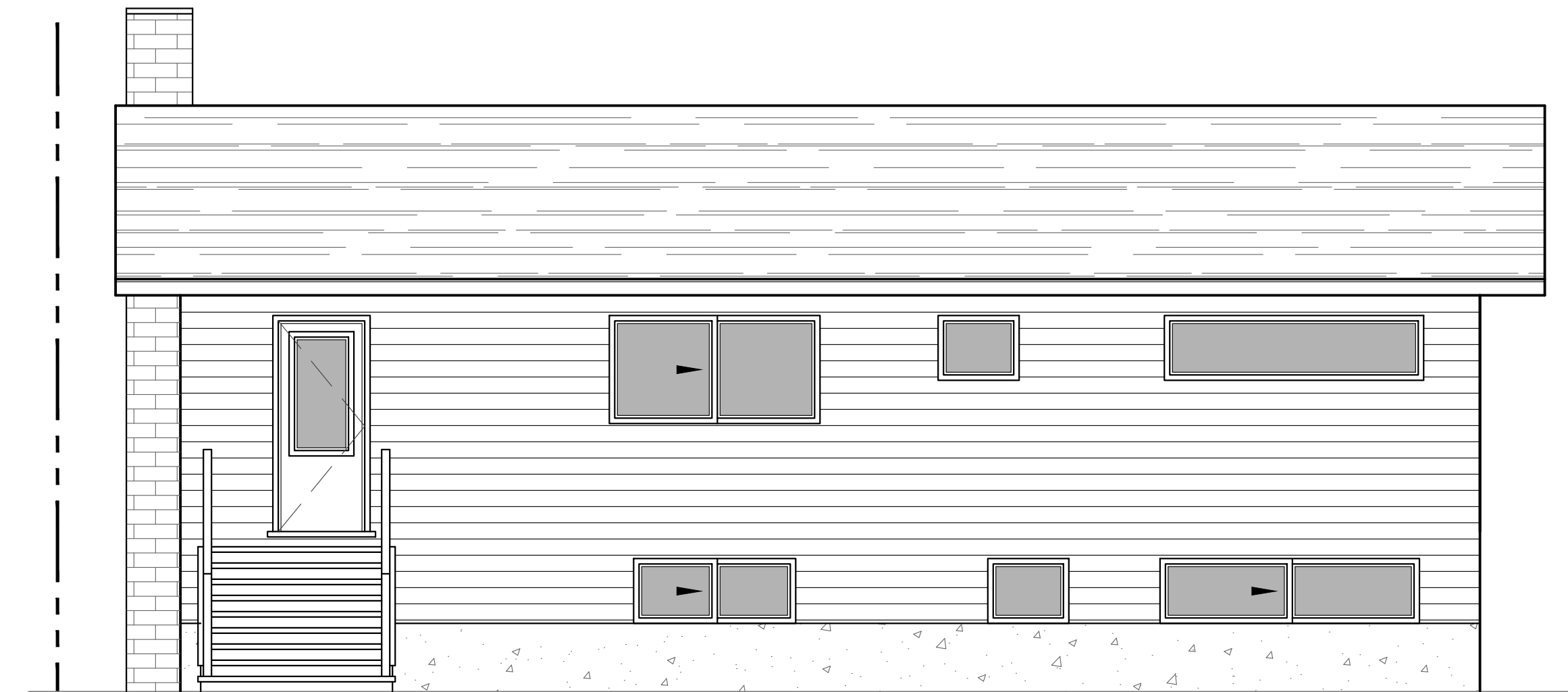
REVISION:  
1  
SHEET NUMBER:  
A3



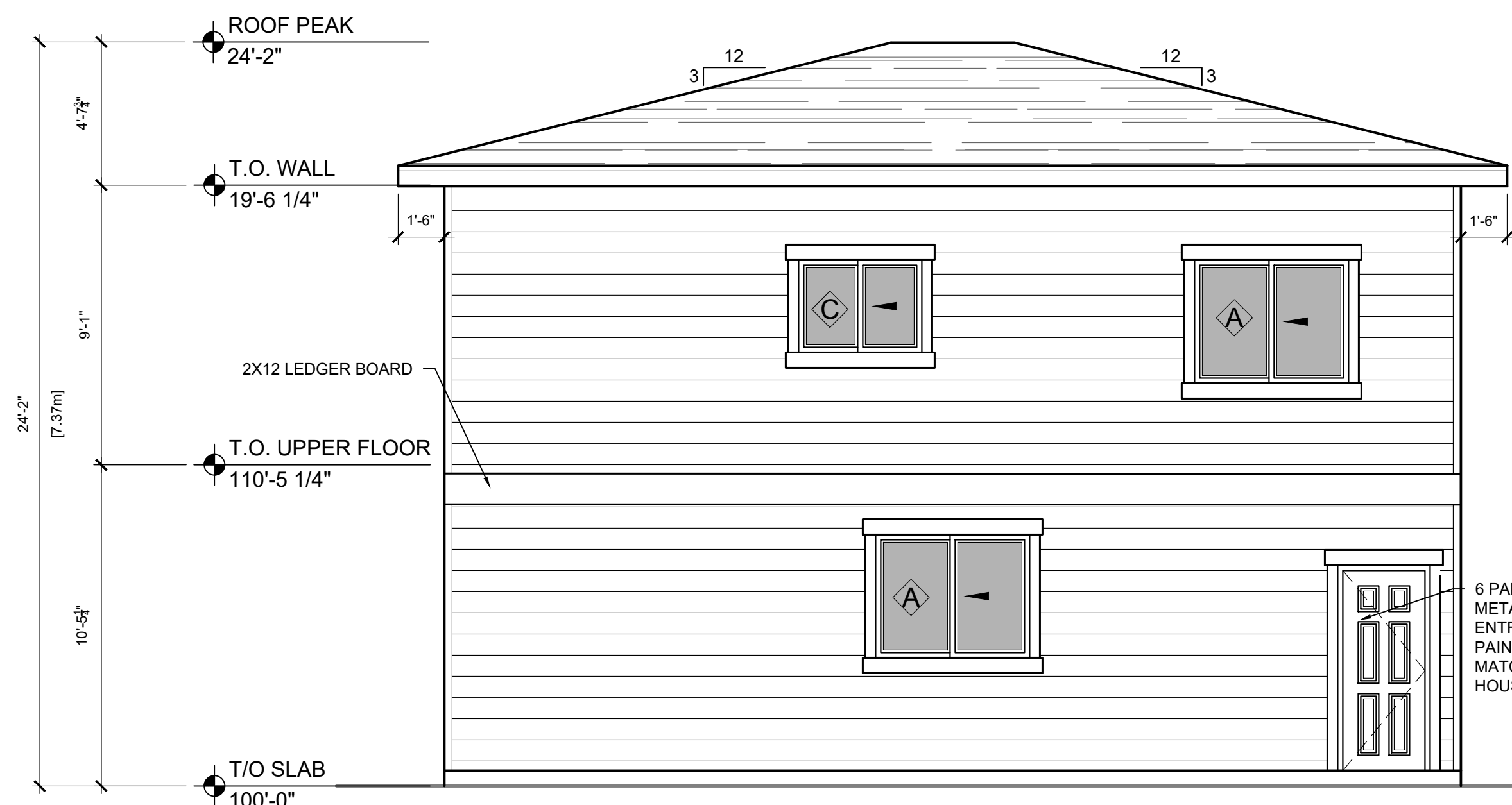
1 LANE-SIDE ELEVATION  
A2 / SCALE: 1/4"=1'-0"  
STYLE - CRAFTSMEN



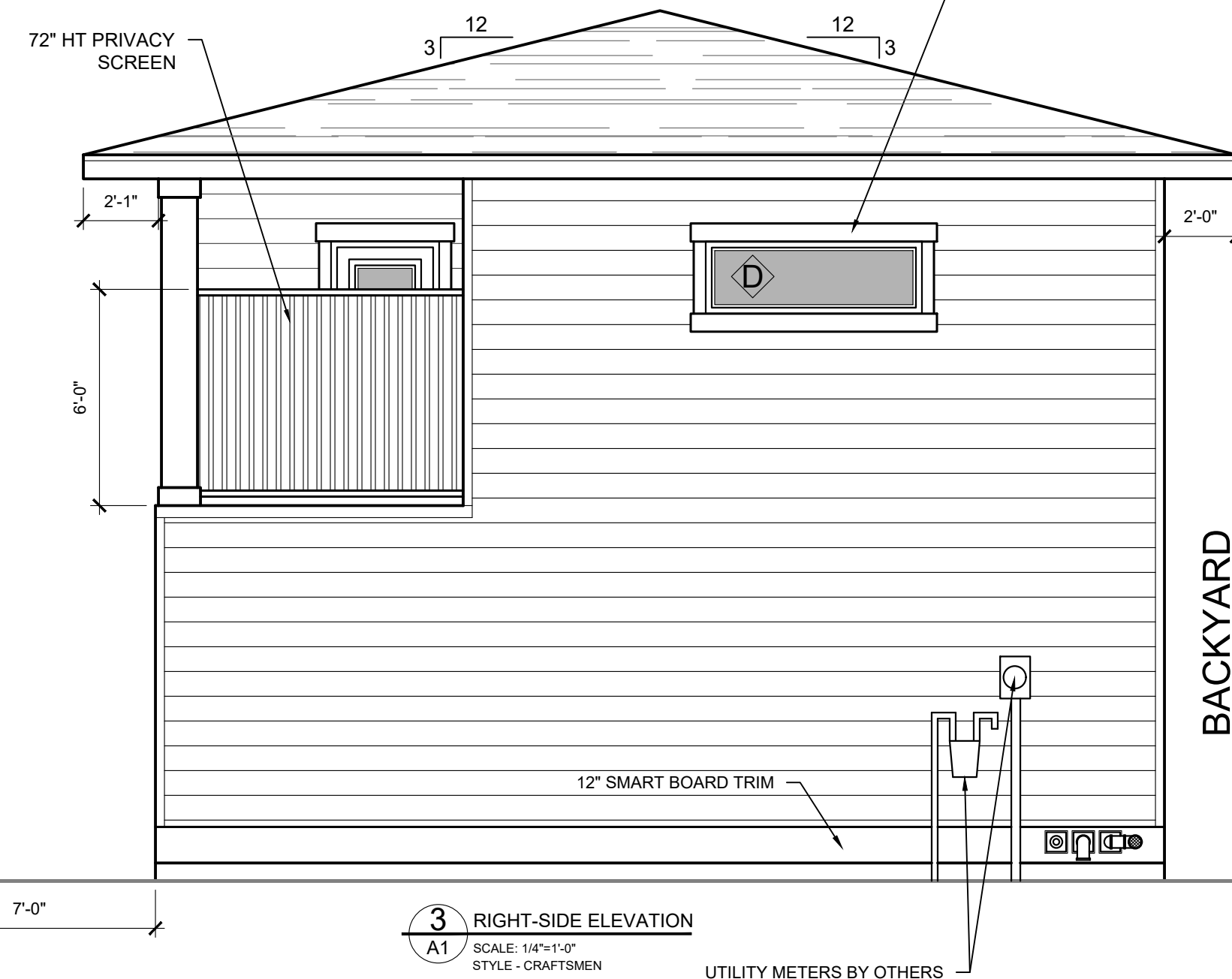
2 LEFT-SIDE ELEVATION  
A2 / SCALE: 1/4"=1'-0"  
STYLE - CRAFTSMEN



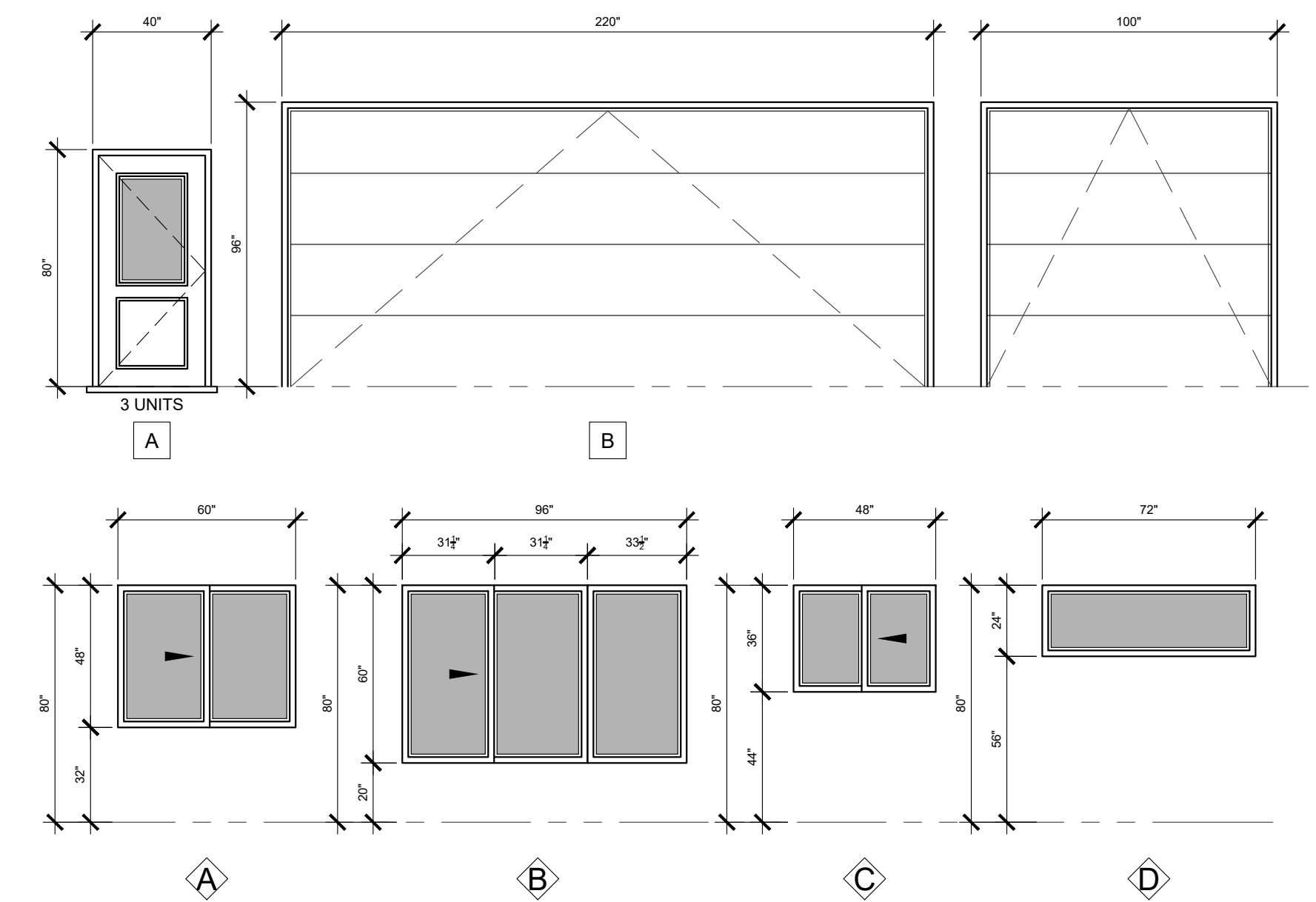
5 EXISTING REAR ELEVATION OF DWELLING  
A2 / SCALE: 1/4"=1'-0"



4 BACKYARD-SIDE ELEVATION  
A1 / SCALE: 1/8"=1'-0"  
STYLE - CRAFTSMEN



3 RIGHT-SIDE ELEVATION  
A1 / SCALE: 1/8"=1'-0"  
STYLE - CRAFTSMEN



WINDOW / DOOR STANDARDS:	WINDOW / DOOR NOTES:
<p>ALL MANUFACTURED AND PRE-ASSEMBLED WINDOWS, DOORS AND SKYLIGHTS SHALL COMPLY TO: NAFS-NORTH AMERICAN FENESTRATION STANDARD/SPECIFICATION-AAMA/WDMA/CSA 101/1 S.2/A440-08 ALONG WITH THE CANADIAN SUPPLEMENT-CSA A440S1-09. REFER ALSO TO SECTION 9.7 IN THE CURRENT NATIONAL BUILDING CODE ALBERTA EDITION FOR ADDITIONAL INFORMATION.</p> <p>LOCATION INFORMATION ALONG WITH THE MINIMUM REQUIREMENTS BASED ON THE ABOVE NOTED STANDARDS FOR WINDOW, DOOR AND SKYLIGHT COMPLIANCE FOR THIS PROJECT ARE NOTED IN THE BELOW:</p> <p>THERMAL CHARACTERISTICS: (BASED ON TABLE 9.7.3.3-NBC AE) MAX THERMAL TRANSMITTANCE - (U-VALUE)- W/(M<sup>2</sup>-K) OR MIN TEMPERATURE INDEX (I) FOR CLIMATE COLDER THAN -30°C: WINDOW MAX U = 1.6 SKYLIGHT MAX U = 2.7 WINDOW MIN I = 77 SKYLIGHT MIN I = N/A</p>	<ol style="list-style-type: none"> <li>CONFIRM ALL UNIT DIMENSIONS PRIOR TO CONSTRUCTION. IF THERE ARE ANY DISCREPANCIES, CONTACT THE DESIGNER.</li> <li>PRIOR TO CONSTRUCTION, CONFIRM ALL DOOR &amp; WINDOW OPENINGS (R.O) WITH MANUFACTURE'S SHOP DRAWINGS.</li> <li>CONTRACTOR TO REVIEW AND APPROVE WINDOW AND DOOR SHOP DRAWINGS PRIOR TO MANUFACTURING.</li> <li>ALL WINDOWS AND DOORS ARE TO BE VINYL CLAD (COLOR TBD).</li> <li>ALL WINDOWS AND DOORS ARE SIZED AND/OR DIMENSIONED TO THE OUTSIDE OF FRAME. CONFIRM WITH MANUFACTURE'S SHOP DRAWINGS.</li> <li>ALL WINDOW AND DOOR R.O'S ARE AS NOTED. CONTRACTOR TO CONFIRM WITH MANUFACTURE. (TYPICAL WINDOW R.O IS PLUS 1" OR 1/2" AT EACH FRAME) (DOOR R.O WILL BE 1/2" AT THE HEAD AND 1" AT THE JAMBS)</li> <li>DOOR AND WINDOW TAG - REFER TO PLANS AND ELEVATIONS FOR LOCATIONS.</li> <li>ALL WINDOWS ARE TO BE INSTALLED AS OUTLINED IN THE WINDOW INSTALLATION GUIDLINES INCLUDED WITH THIS SET, OR BEST PRACTICE.</li> <li>CONTRACTOR TO CONFIRM WHICH WINDOWS ARE TO BE VENTING. CONTRACTOR CONFIRM WINDOW VENTING CONFIGURATION.</li> </ol>
<p>LOCATION: CALGARY, AB</p> <p>TERRAIN: ROUGH</p> <p>BUILDING HEIGHT: 10M OR BELOW</p> <p>PERFORMANCE GRADE: 25</p> <p>DESIGN PRESSURE +/-: 1200 Pa</p> <p>WATER PENETRATION RESISTANCE TEST PRESSURE: 260 Pa</p> <p>CANADIAN AIR INFILTRATION/EXFILTRATION: A2</p>	

6 WINDOW AND DOOR SCHEDULE  
A2 / SCALE: 1/4"=1'-0"

**ROOF VENTILATION NOTES**

- CONTRACTOR TO PROVIDE AND VERIFY THAT ADEQUATE ROOF VENTILATION IS PROVIDED TO SUITE MIN. 1/8" RULE AS OUTLINED IN THE NATIONAL BUILDING CODE ALBERTA EDITION.
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- ALL SOFFITS WHERE POSSIBLE ARE TO BE VENTILATED. CW INSULATION STOPS AT TRUSS HEELS TO SUITE BUILDING CODE AND LOCAL BY-LAWS.
- ALL VENTILATION MUST HAVE INSECT PROTECTION.

**EXTERIOR FINISH SCHEDULE:**

FINISH	NAME: HARDIEPLANK® LAP SIDING - SELECT CEDARMILL® COLOR: AS SELECTED BY OWNER MANUFACTURE: JAMES HARDIE	RESERVED
	NORTHGATE CLIMATE FLEX ASPHALT SHINGLES COLOR: AS SELECTED BY OWNER MANUFACTURE: CERTAINTEED	RESERVED
	EXPOSED CONCRETE OR CONCRETE PAVING COLOR: AS SELECTED BY OWNER	RESERVED

**ELEVATION KEYNOTES**

- LINE OF GRADE AT FACE OF FOUNDATION.
- EXISTING GRADE.
- LINE OF WALL / ROOF BEYOND
- CONCRETE LANDING / PATIO / STAIR (MIN. 1% SLOPE).
- PAVING
- METAL CLAD WINDOWS / DOORS (TYP.)
- PAINT GRADE SHADOW BOARD.
- PAINT GRADE 1X6 VERTICAL TRIM
- PAINT GRADE 1X8 HORIZONTAL TRIM
- PAINT GRADE NOMINAL 2X10 FASCIA / TRIM C/W CAP AS REQUIRED.
- PRE-FINISHED METAL FLASHING. COLOR TO MATCH ADJACENT MATERIALS
- GUARD RAIL AS PER OWNER
- METAL RWVL SECURED TO FACE OF WALL SURFACE. (TIED TO EAVESTROUGH ABOVE) (TYP.)
- LOCATION OF FRESH AIR INTAKE - CONFIRM
- DISTANCES TO ALL INTAKE AIR AND VENTING AS PER MUNICIPALITY STANDARDS
- APPROXIMATE LOCATION OF COMBUSTION AIR EXHAUST.
- RECOMMENDED GAS METER LOCATION - INSTALLED S AS PRESENTED AS TRUE, CORRECT AND COMPLETE. IF ALTERNATE LOCATIONS ARE REQUIRED.
- APPROXIMATE LOCATION OF HOOD FAN EXHAUST VENT.
- APPROXIMATE LOCATION OF DRYER EXHAUST VENT.



**PROJECT NAME:**  
SYLVAN LAKE PLACE RENOVATION

**PROJECT ADDRESS:**  
CIVIC ADDRESS:  
1132 SYLVAN LAKE PLACE  
LEGAL ADDRESS:

DESIGNED BY: STUDIO WOLF DESIGNS  
INTERIOR BY: INTERIOR DESIGNER NAME  
ENGINEERED BY: ENGINEER'S NAME  
BUILT BY: CANDLAS CONSTRUCTORS

**DRAWING TITLE:**  
CARRIAGE HOUSE ELEVATIONS

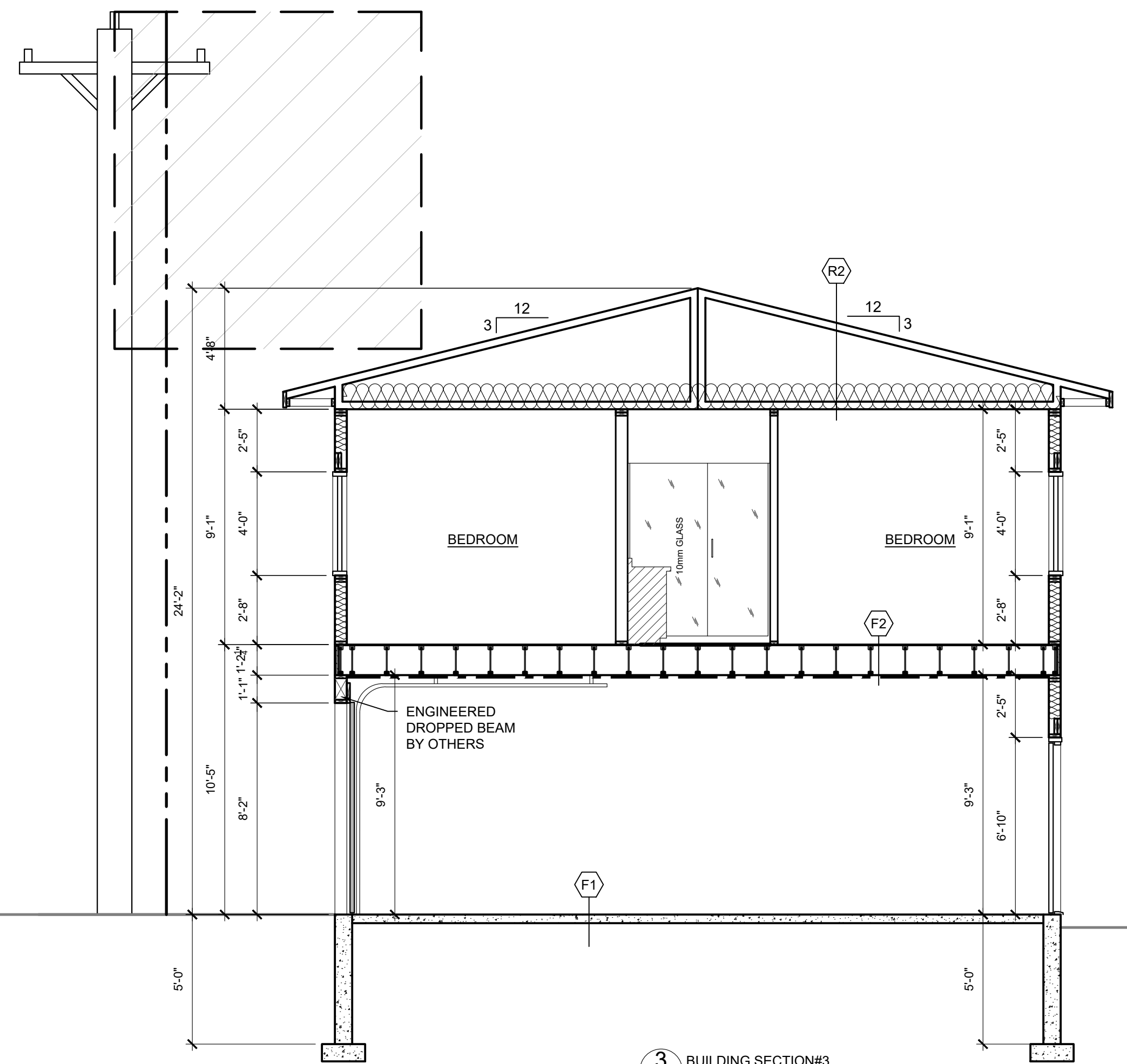
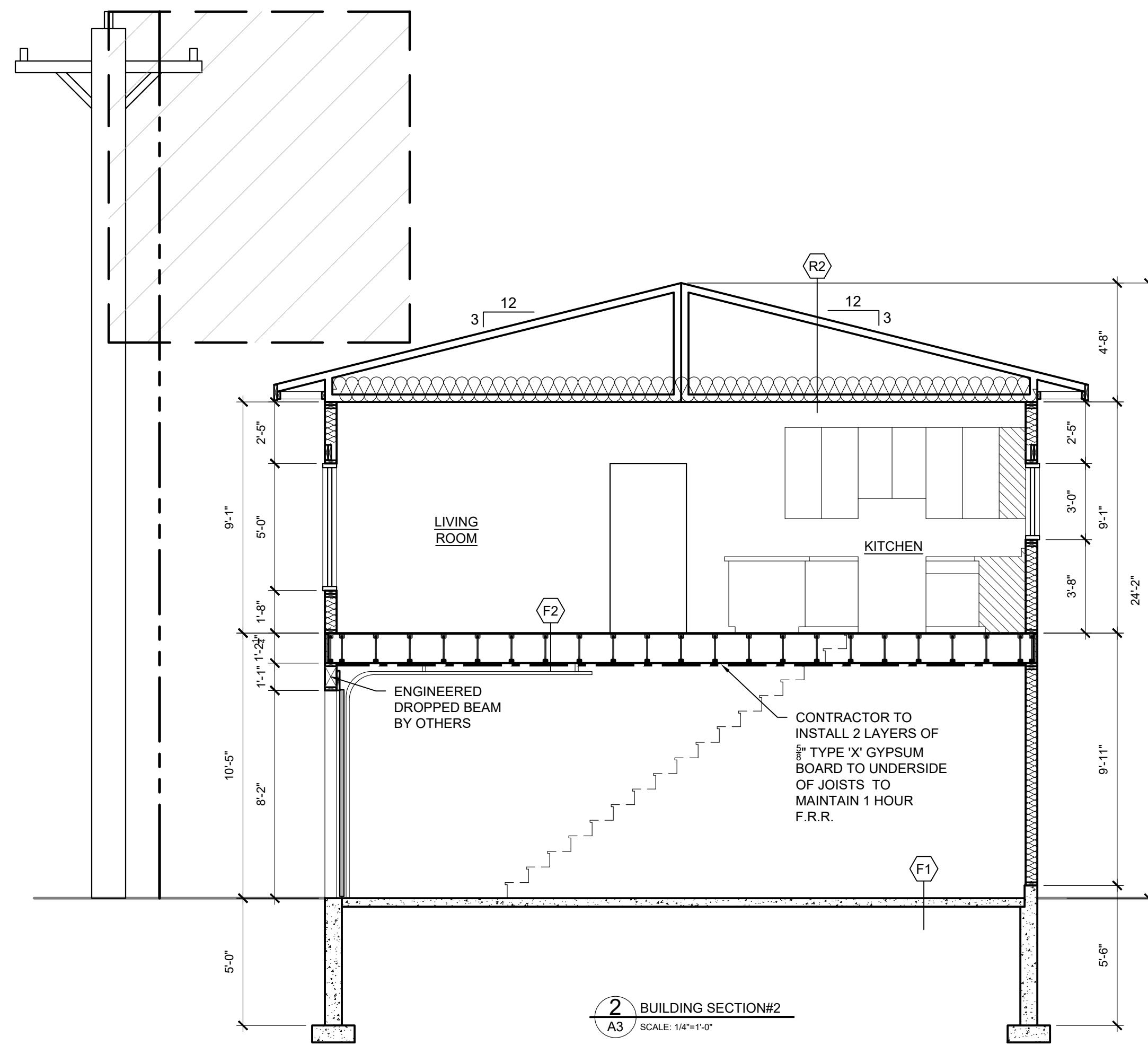
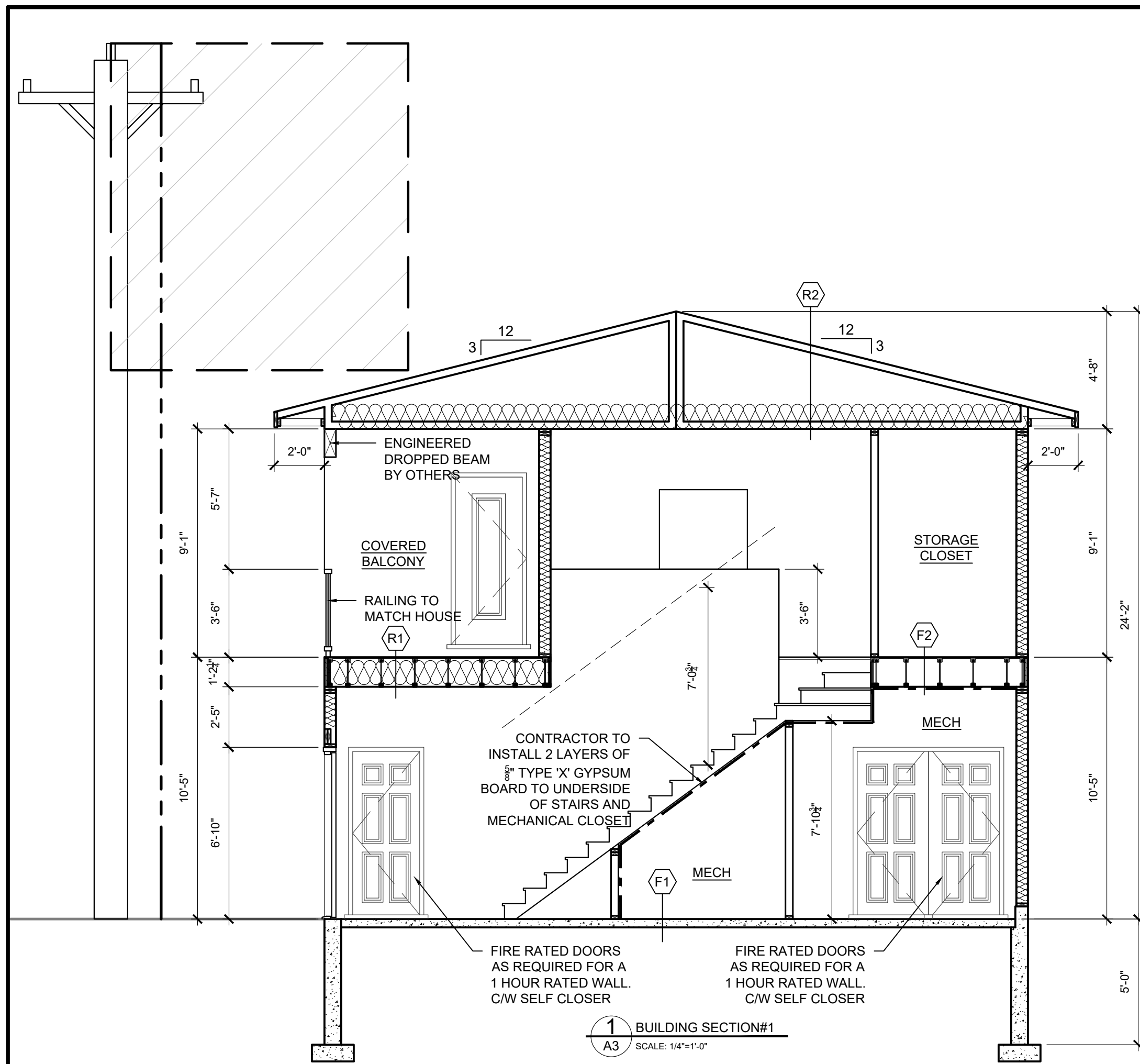
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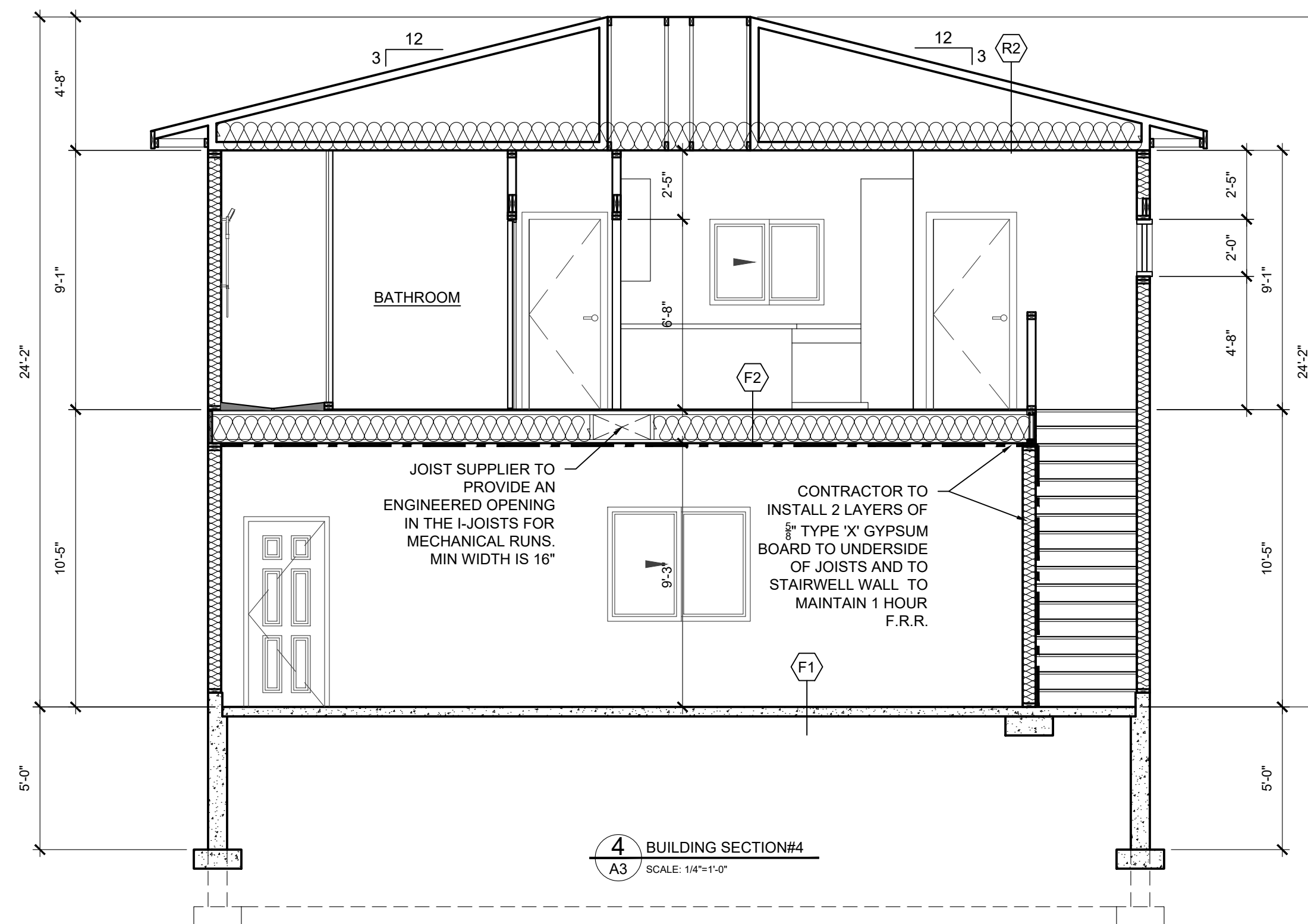
**BUILDER'S INFORMATION:**  
ANDRE BUSTOS  
CANDLAS CONSTRUCTORS  
555 29TH STREET SW  
CALGARY AB T2M 0M5  
P: 204-430-1636  
E: INFO@CANDLAS.COM

NO.	REVISION	DATE
1.	ISSUED FOR CLIENT REVIEW	2025/03/08
2.	ISSUED FOR PERMIT SUBMISSION AND CONSTRUCTION	2025/04/08
3.	ISSUED FOR DETAILED REVIEW RESPONSE	2025/08/22

**REVISION:**  
R1  
**SHEET NUMBER:**  
A4



<p><b>F1</b> CONCRETE SLAB FLOOR (UNHEATED) REQ'D RSI 2.84</p> <ul style="list-style-type: none"> <li>FLOOR FINISH AS PER INTERIOR FINISHING SCHEDULE</li> <li>CONCRETE SLAB REINFORCED AS PER STRUCTURAL ENGINEER'S SPECIFICATIONS</li> <li>1/2" POLY VAPOR BARRIER (LAPPED &amp; TAPPED A MIN 4")</li> <li>4" (MIN) COMPACTED GRAVEL</li> </ul> <p>1/2" DENOTES 4" CONCRETE SLAB 1/4" DENOTES 6" CONCRETE SLAB</p>	<p><b>R2</b> TYPICAL ENGINEERED TRUSS ROOF REQ'D RSI 10.43</p> <ul style="list-style-type: none"> <li>ROOF FINISH AS PER 'EXTERIOR FINISHES LEGEND'</li> <li>2 LAYERS OF ROOFING PAPER LAPPED AND TAPPED A MIN. 4"</li> <li>1/2" PLYWOOD SHEATHING C/W W/CLIPS</li> <li>ROOF TRUSSES AS PER MANUFACTURERS PLANS AND SPECIFICATIONS</li> <li>8" 60 BATT INSULATION C/W INSULATION STOPS AND VENT SPACE</li> <li>6 MIL POLY VAPOR BARRIER</li> <li>5/8" GYPSUM WALL BOARD (HIGH DENSITY)</li> <li>SOFFIT AS PER 'EXTERIOR FINISHES LEGEND'</li> </ul> <p>*NOTE* TRUSSES TO HAVE A 16" HEEL HEIGHT UNLESS NOTED OTHERWISE. PROVIDE WIDE ICE AND WATER SHIELD LEAVE AND VALLEY PROTECTION FROM EAVE TO 36" BEYOND WALL LINE. ATTIC SPACE TO BE VENTED AS PER LOCAL BUILDING CODES OR BEST PRACTICES.</p>
<p><b>F2</b> TJI FL ASSEMBLY OVER UNHEATED SPACES REQ'D RSI 5.02</p> <ul style="list-style-type: none"> <li>FINISH FLOORING (AS PER INTERIOR SPECIFICATIONS)</li> <li>3/4" T&amp;G PLYWOOD SHEATHING, GLUED &amp; SCREWED TO FLOOR JOISTS</li> <li>6 MIL POLY VAPOR BARRIER (LAPPED &amp; TAPPED A MINIMUM 4")</li> <li>PRE-ENGINEERED FLOOR JOISTS AS PER MANUF. SPECS. W/ INSULATED RM BOND @ EXTREMITIES</li> <li>PROVIDE MINERAL BATT INSULATION (R60) TO FILL CAVITY</li> <li>2X4 STRAPPING PERPENDICULAR TO JOISTS @ 24" O/C</li> <li>2 LAYERS 5/8" FIRE RATED TYPE 'C' GYPSUM BOARD FOR GARAGE APPLICATIONS</li> </ul> <p>1/4" DENOTES 14" T&amp;G FLOOR JOIST</p> <p>NOTE: PROVIDE CROSS VENTILATION</p>	<p><b>W1</b> FOUNDATION WALL ASSEMBLY - GARAGE REQ'D RSI 0.00</p> <ul style="list-style-type: none"> <li>PARGING FINISH TO CONCRETE ABOVE GRADE/ DAMP PROOFING TO CONCRETE BELOW GRADE</li> <li>8" CONCRETE FOUNDATION WALL REINFORCED AS PER STRUCTURAL ENGINEER'S SPECIFICATIONS</li> </ul> <p>1/8" DENOTES 8" CONCRETE FOUNDATION</p>
<p><b>R1</b> ENGINEERED FLAT ROOF (ROOF DECK) REQ'D RSI 5.02</p> <ul style="list-style-type: none"> <li>FINISH FLOORING (AS PER EXTERIOR SPECIFICATIONS) IF REQUIRED</li> <li>MODIFIED BITUMEN TORCH ON ROOF AS PER MANUFACTURER'S SPECIFICATIONS</li> <li>1/2" POLY VAPOR BARRIER</li> <li>1/2" T&amp;G PLYWOOD SHEATHING, GLUED &amp; SCREWED TO FLOOR JOISTS</li> <li>2X4 STRAPPING PARALLEL TO TRUSSES TO CREATE SLOPE</li> <li>PRE-ENGINEERED ROOF JOISTS AS PER MANUF. SPECS. W/ INSULATED RM BOARD @ EXTREMITIES</li> <li>2" SPRAY FOAM INSULATION TO US OF SHEATHING (MIN OF 1/2")</li> <li>1/2" DENOTES 16" ROOF JOIST</li> <li>1/2" DENOTES 1/2" GYPSUM WALL BOARD (HIGH DENSITY)</li> </ul> <p>NOTE: PROVIDE CROSS VENTILATION. INSULATION TO BE PLACED ON THE TOP SIDE OF THE JOIST CAVITY TO ALLOW FOR MECHANICAL AND PLUMBING RUNS.</p>	<p><b>W2</b> 2x6 EXTERIOR WALL ASSEMBLY - SIDING REQ'D RSI 3.08</p> <ul style="list-style-type: none"> <li>FIBRE CEMENT OR VINYL SIDING PER EXTERIOR FINISHES LEGEND</li> <li>2 LAYERS OF 30 MINUTE BUILDING PAPER, STAGGER JOINTS W/ 4" OVERLAP MIN.</li> <li>1/2" PLYWOOD SHEATHING (SIDE YARDS TO BE FIRE RATED)</li> <li>1/2" BATT INSULATION TO FILL CAVITY</li> <li>2x6 STUDS @ 19.2" O/C UNLESS NOTED OTHERWISE</li> <li>4 MIL POLY VAPOR BARRIER (LAPPED &amp; TAPPED)</li> <li>1/2" GYPSUM WALL BOARD</li> </ul>
<p><b>P1</b> INTERIOR GARAGE/HOUSE WALL REQ'D RSI 2.92</p> <ul style="list-style-type: none"> <li>1/2" GYPSUM WALL BOARD (HOUSE SIDE)</li> <li>2x STUDS @ 19.2" O/C UNLESS NOTED OTHERWISE</li> <li>1/2" BATT INSULATION TO FILL CAVITY</li> <li>6 MIL POLY VAPOR BARRIER (LAPPED AND TAPPED)</li> <li>2 LAYERS F TYPE 'C' FIRE RATED GYPSUM WALL BOARD</li> </ul>	<p><b>P2</b> 2x PARTITION WALL ASSEMBLY - NO INSUL. REQ'D RSI 0.00</p> <ul style="list-style-type: none"> <li>1/2" GYPSUM WALL BOARD</li> <li>2x STUDS @ 19.2" O/C UNLESS NOTED OTHERWISE</li> <li>1/2" GYPSUM WALL BOARD</li> </ul> <p>1/4" DENOTES 2X4 WOOD STUD WALL 1/8" DENOTES 2X6 WOOD STUD WALL</p>



<p><b>PROJECT NAME:</b> SYLVAN LAKE PLACE RENOVATION</p>	<p><b>PROJECT ADDRESS:</b> CIVIC ADDRESS: 1132 SYLVAN LAKE PLACE LEGAL ADDRESS:</p>	<p>DESIGNED BY: STUDIO WOLF DESIGNS INTERIOR BY: INTERIOR DESIGNER NAME ENGINEERED BY: ENGINEER'S NAME BUILT BY: CANDLAS CONSTRUCTORS</p>
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<p><b>DRAWING TITLE:</b> BUILDING SECTIONS &amp; ASSEMBLIES</p>	<p>PROJECT REVIEW SIGN-OFF I, _____ OF _____ HAVE REVIEWED THE ARCHITECTURAL DRAWINGS, IN CONJUNCTION WITH THE TRUSS AND JOIST PACKAGES, ENGINEERING DRAWINGS, LETTERS AND NOTES, THE WINDOW AND DOOR PACKAGE, THE INTERIOR DESIGN PACKAGE (IF APPLICABLE), AND ANY OTHER DRAWING OR DOCUMENTS THAT WILL COMPOSE THE CONSTRUCTION DRAWING SET. - THE ARCHITECTURAL DRAWINGS ARE ACCEPTED AS PRESENTED - - THE ARCHITECTURAL DRAWINGS ARE ACCEPTED PENDING THE ISSUES NOTED ARE RESOLVED. ACCEPTED ON THE ____ DAY OF _____, 20__</p>
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<p><b>BUILDER'S INFORMATION:</b> ANDRE BUSTOS CANDLAS CONSTRUCTORS 555 29TH STREET SW CALGARY AB T2M 0M5 P: 204-430-1636 E: INFO@CANDLAS.COM</p>	<table border="1"> <thead> <tr> <th>NO.</th> <th>REVISION</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>1.</td> <td>ISSUED FOR CLIENT REVIEW</td> <td>2025/03/28</td> </tr> <tr> <td>2.</td> <td>ISSUED FOR PERMIT SUBMISSION AND CONSTRUCTION</td> <td>2025/04/08</td> </tr> <tr> <td>3.</td> <td>ISSUED FOR DETAILED REVIEW RESPONSE</td> <td>2025/08/22</td> </tr> </tbody> </table>	NO.	REVISION	DATE	1.	ISSUED FOR CLIENT REVIEW	2025/03/28	2.	ISSUED FOR PERMIT SUBMISSION AND CONSTRUCTION	2025/04/08	3.	ISSUED FOR DETAILED REVIEW RESPONSE	2025/08/22	<p>REVISION: 1 SHEET NUMBER: A5</p>
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